



**TOWN OF MOUNT GILEAD  
BOARD OF COMMISSIONERS  
AGENDA**

110 West Allenton Street, Mount Gilead, North Carolina, 27306

**February 3, 2026**

The Mount Gilead Board of Commissioners will meet on Tuesday, February 3, 2026 at 7:00 p.m. at the Mount Gilead Fire Department, 106 East Allenton St, Mt Gilead, NC 27306, for the regular monthly business meeting.

**ITEM I. CALL TO ORDER (Mayor Morley)**  
**MOMENT OF SILENCE**  
**PLEDGE OF ALLEGIANCE**

**ITEM II. CONSENT AGENDA (Action)**

- A. Adoption of the Agenda
- B. Adoption of the Board of Commissioner Meeting Minutes  
From the January 6 Regular Session.
- C. Staff Reports

**ITEM III. PUBLIC COMMENT (Lessie Jackson, Town Clerk)**

*Speakers must use the podium and sign in with contact information including their address. No audience interaction or debate is permitted, and the Mayor and Board cannot respond during this session according to the NC Open Meetings laws. Each speaker has 3 minutes; a spokesperson for groups of 5 or more has 5 minutes. Town staff will record comments and follow up as needed. Inflammatory or irrelevant remarks are not permitted. Written comments may be submitted to the Town Clerk by email at [clerk@mtgileadnc.com](mailto:clerk@mtgileadnc.com) or by mail to PO Box 325, Mt. Gilead, NC 27306*

**ITEM V. NEW BUSINESS**

- A. Reappoint Jones Almond to ABC Board
- B. Postpone Public Hearing **(Barrett Brown)**
- C. Albert Johnson Park & Sewer Project Information **(Zachary Bennet LKC**
- D. Decommission the Boy Scout Hut **Engineering)**
- E. The Budget and Retreat-Contract Amendment **(Action: Barrett Brown)**
- F. Changes to certain Bank Accounts

**ITEM VI. COMMITTEE REPORTS (Mary Poplin)**

- A. Community Garden
- B. Parks and Recreation **(Jennifer Haywood)**

**ITEM VII. MANAGER REPORT (Barrett Brown)**

**ITEM VIII. MAYOR AND COMMISSIONERS REPORT (Information)**

**ITEM IX. CLOSED SESSION pursuant to NC GS 143-33c to discuss Personnel**

**ITEM X. ADJOURNMENT (Action)**

**TOWN OF MOUNT GILEAD  
BOARD OF COMMISSIONERS  
REGULAR MEETING MINUTES**

110 West Allenton Street | Mount Gilead, North Carolina 27306

**January 6, 2026**

The Mount Gilead Board of Commissioners met in regular session on Tuesday, January 6, 2026, at 7:00 p.m. at the Mount Gilead Fire Department, 106 East Allenton Street, Mount Gilead, North Carolina.

**Present:**

Mayor Sheldon P. Morley  
Mayor Pro-Tem Tim McAuley  
Commissioner Paula Covington  
Commissioner Mary Lucas  
Commissioner Vera Richardson  
Town Manager Barrett Brown  
Police Chief Talmadge LeGrand  
Public Works Director James “Wahoo” McCormick  
Fire Chief Keith Byrd  
Town Clerk Lessie D. Jackson

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**I. Call to Order**

Mayor Morley called the meeting to order at 7:00 p.m. A moment of silence was observed, followed by the Pledge of Allegiance.

**II. Swearing-In of Elected Officials**

Town Clerk Lessie D. Jackson administered the Oath of Office to the following:

- Mayor Sheldon P. Morley
- Mayor Pro-Tem Tim McAuley
- Commissioner Vera Richardson

Commissioner Richardson moved to nominate Commissioner Tim McAuley as Mayor Pro-Tem. Commissioner Lucas seconded. Motion carried.

**III. Consent Agenda**

Items included:

- A. Adoption of Agenda
- B. Approval of December 2, 2025 Regular Meeting Minutes

- C. Staff Reports
- D. Parks & Recreation Report

Commissioner Covington moved to approve the Consent Agenda. Mayor Pro-Tem McAuley seconded. Motion carried.

## **IV. Public Comment**

The Rules for Public Comment were read.

Mr. Jones Almond, 210 E. Allenton Street, addressed the Board regarding continued concerns about the storm drain project at Stanback Park and expressed opposition to altering the existing drainage ditch.

Mayor Morley recognized former mayors in attendance.

## **V. New Business**

### **1. Ordinances**

Town Manager Brown provided an overview and answered Board questions regarding proposed ordinances.

### **2. Code Enforcement Hearing**

Commissioner Richardson moved to schedule a Code Enforcement Hearing for the February 3, 2026 Board meeting. Mayor Pro-Tem McAuley seconded. Motion carried.

### **3. Albert Johnson Pocket Park**

Town Manager Brown provided an update regarding a recent meeting with engineers and the Civitan Club. Monthly planning meetings will be held at the Mount Gilead Library.

Mr. Brown also thanked the Merchant Association for organizing the Christmas Parade and Christmas on the Square.

## **VI. Committee Reports**

**Community Garden** – No report.

## **VII. Manager's Report**

Town Manager Brown updated the Board on current and ongoing projects.

Commissioner Covington moved to grant a 3% merit raise to specified employees as listed.

Commissioner Richardson seconded. Motion carried.

## **VIII. Mayor and Commissioners' Comments**

- Commissioner Covington inquired about enforcement of the burning and dog leash ordinances. Discussion followed.
- Mayor Morley referenced a recent Facebook post.

- Commissioner Richardson thanked volunteers and supporters of Highland Community Center’s annual Christmas celebration.
- Commissioner Lucas requested an update on the river project.

**IX. Adjournment**

Mayor Pro-Tem McAuley moved to adjourn. Commissioner Covington seconded. Motion carried.

Meeting adjourned at 7:45 p.m.

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**APPROVED:**

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Sheldon P. Morley, Mayor

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Lessie D. Jackson, Town Clerk



## TOWN OF MOUNT GILEAD WWTP

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Everything is normal.

LKC has repaired mission control box for blowers.

EDMR has been submitted and processed

Toxicity tests were submitted and test results passed

Perimeter fence has been completed

New water pump was installed on work truck

LKC installed new motor on grit chamber



Town of  
**MOUNT GILEAD POLICE  
DEPARTMENT**

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**123 North MainStreet - Post Office Box 325  
Mount Gilead, North Carolina, 27306  
Phone: (910) 439-6711 Fax: (910) 439-1855**

**MEMORANDUM**

**To: Barret Brown  
Town Manager**

**From: Talmedge LeGrand  
Chief of Police**

**Date: January, 2026**

**Subject: Mount Gilead Police Department Monthly Report for January, 2026**

This month at the Mount Gilead Police Department it has been a slow on.

All paperwork for the State of North Carolina has been completed.

It was a pleasure to be a judge for the American Legion National Oratorical Contest for 2026, that was held here in Mount Gilead at First United Methodist Church, wee one contestant was able to move on to the next round.

Chief attended the annual NCACP Conference. It was a very engaged and meaningful conference.

We are now actively looking for a patrolman to fill a new Position.

### Administration and Patrol

- The School Resource Officer continues to greet students at MGES and provide a positive environment.
- Officers attended the scheduled grand jury session.
- Officers are continuing to check business doors each night.
- Officers conducted various traffic stops.
- Officers continue to take annual in-service training.
- Ranking officers continue to fill in shifts for officers as needed shift schedule (sickness, training, vacancy etc.).
- Entered IBR (monthly crime report) into the state database for crime statistics.
- Continued entry of SBI Traffic Stop Reports.
- Routinely reviewed body camera videos.
- Continued escorts for businesses as they close at night.
- Department vehicles serviced with oil changes and tire rotations.

**Montgomery County Communications**  
**199 South Liberty St Troy , NC 27371**

CFS By Department - Select Department By Date  
 For MT GILEAD POLICE DEPT 01/01/2026 00:00 - 01/27/2026 23:59

MT GILEAD POLICE DEPT	Count	Percent
911 HANG UP	1	1.23%
ALARM (NOT FIRE) COMMERCIAL	12	14.81%
ALARM (NOT FIRE) RESIDENTIAL	1	1.23%
CARDIAC OR RESPIRATORY ARREST - DEATH	1	1.23%
CARELESS & RECKLESS	1	1.23%
CITIZEN ASSIST	1	1.23%
CIVIL	1	1.23%
CIVIL DISTURBANCE	1	1.23%
COMMUNICATING THREATS	2	2.47%
DAMAGE TO PROPERTY	2	2.47%
DOMESTIC	6	7.41%
ESCORT	4	4.94%
FALLS	1	1.23%
FOLLOWUP INVESTIGATION	2	2.47%
INFORMATION	2	2.47%
JUVENILE(s)	2	2.47%
LARCENY	5	6.17%
MAN WITH A GUN	1	1.23%
NOISE VIOLATION	2	2.47%
PROWLER	1	1.23%
SERVE PAPER	1	1.23%
SHOTS FIRED	2	2.47%
SICK PERSON (SPECIFIC DIAGNOSIS)	2	2.47%
STRANDED/ABANDONED BOAT/VEH	1	1.23%
STRUCTURE FIRE	1	1.23%
SUSPICIOUS PERSON/VEH/ACTIVITY	7	8.64%
TRAFFIC ACCIDENTS (PD)	4	4.94%
TRAFFIC STOP	6	7.41%
TRANSPORTATION PI	3	3.70%
TRESPASSING	1	1.23%
WELFARE CHECK	4	4.94%
Total Records For MT GILEAD POLICE DEPT	<b>81</b>	Group/Total <b>100.00%</b>
<b>Total Records</b>	<b>81</b>	

**Montgomery County Communications**  
**199 South Liberty St Troy , NC 27371**

CFS By Department/Unit/Date  
01/01/2026 - 01/27/2026

**MT GILEAD POLICE DEPT**

<b>701</b>		
FALLS	1	1.15%
INFORMATION	1	1.15%
PROWLER	1	1.15%
SUSPICIOUS PERSON/VEH/ACTIVITY	1	1.15%
<b>Unit Total</b>	<b>4</b>	

<b>702</b>		
ALARM (NOT FIRE) COMMERCIAL	1	1.15%
DAMAGE TO PROPERTY	1	1.15%
LARCENY	2	2.30%
SHOTS FIRED	1	1.15%
STRANDED/ABANDONED BOAT/VEH	1	1.15%
STRUCTURE FIRE	1	1.15%
SUSPICIOUS PERSON/VEH/ACTIVITY	2	2.30%
<b>Unit Total</b>	<b>9</b>	

<b>703</b>		
ALARM (NOT FIRE) COMMERCIAL	4	4.60%
ALARM (NOT FIRE) RESIDENTIAL	1	1.15%
CARDIAC OR RESPIRATORY ARREST - DEATH	1	1.15%
DAMAGE TO PROPERTY	1	1.15%
DOMESTIC	1	1.15%
MAN WITH A GUN	1	1.15%
NOISE VIOLATION	2	2.30%
PROWLER	1	1.15%
SHOTS FIRED	1	1.15%
TRAFFIC ACCIDENTS (PD)	2	2.30%
TRAFFIC STOP	1	1.15%
TRANSPORTATION PI	2	2.30%
<b>Unit Total</b>	<b>18</b>	

<b>704</b>		
CIVIL	1	1.15%
CIVIL DISTURBANCE	1	1.15%
COMMUNICATING THREATS	1	1.15%
DOMESTIC	1	1.15%
TRAFFIC ACCIDENTS (PD)	1	1.15%
TRANSPORTATION PI	1	1.15%
<b>Unit Total</b>	<b>6</b>	

<b>705</b>		
ALARM (NOT FIRE) COMMERCIAL	4	4.60%
CIVIL	1	1.15%

**MT GILEAD POLICE DEPT**

<b>705</b>		
CIVIL DISTURBANCE	1	1.15%
DOMESTIC	1	1.15%
ESCORT	2	2.30%
FOLLOWUP INVESTIGATION	1	1.15%
INFORMATION	1	1.15%
LARCENY	2	2.30%
SICK PERSON (SPECIFIC DIAGNOSIS)	2	2.30%
SUSPICIOUS PERSON/VEH/ACTIVITY	3	3.45%
TRAFFIC ACCIDENTS (PD)	1	1.15%
TRAFFIC STOP	5	5.75%
TRANSPORTATION PI	1	1.15%
WELFARE CHECK	3	3.45%
	<b>Unit Total</b>	<b>28</b>
<b>706</b>		
911 HANG UP	1	1.15%
ALARM (NOT FIRE) COMMERCIAL	3	3.45%
CARDIAC OR RESPIRATORY ARREST - DEATH	1	1.15%
CARELESS & RECKLESS	1	1.15%
CITIZEN ASSIST	1	1.15%
COMMUNICATING THREATS	1	1.15%
DOMESTIC	4	4.60%
ESCORT	2	2.30%
FOLLOWUP INVESTIGATION	1	1.15%
JUVENILE(s)	2	2.30%
LARCENY	1	1.15%
SERVE PAPER	1	1.15%
SUSPICIOUS PERSON/VEH/ACTIVITY	1	1.15%
TRESPASSING	1	1.15%
WELFARE CHECK	1	1.15%
	<b>Unit Total</b>	<b>22</b>
	<b>Department Total</b>	<b>87</b> <b>100.00%</b>

**Montgomery County Communications**  
**199 South Liberty St Troy , NC 27371**

CFS Report - By Dept/Date With Notes  
**MT GILEAD POLICE DEPT**  
**01/01/2026 - 01/27/2026**

CFS #	Date/Time	Location	Call Type	Disposition
202600031	01/01/2026 11:22:12	154 EMMALINE ST, MT GILEAD	DOMESTIC	CLEAR-10-24
<b>Units</b> 706			<b>OCA(s)</b>	
<b>Notes</b>				
202600033	01/01/2026 12:13:28	1601 THICKETY CREEK RD, MT GILEAD	SERVE PAPER	UNABLE TO LOCATE-CONTACT-AREA CHECKED
<b>Units</b> 706			<b>OCA(s)</b>	
<b>Notes</b> <b>TLAWING 01/01/2026 12:15:22 E,F,L,R,O</b> 1 male running blue hoodie behind res				
202600081	01/02/2026 07:50:53	PRIDE PLUMBING   205 N MAIN ST, MT GILEAD	ALARM (NOT FIRE) COMMERCIAL	DID NOT RESPOND
<b>Units</b> 705			<b>OCA(s)</b>	
<b>Notes</b> GARAGE DOOR 7N9/SII /ATT RFP/910-439-9598/OP 7143 RFF 1295979 <b>RATKINSON 01/02/2026 07:51:22 E,F,L,R,O</b> DID NOT RESPOND - EMPLOYEES ARRIVING <b>RATKINSON 01/02/2026 07:52:28 E,F,L,R,O</b> RCVD 10-22 FROM ALM CO OP 7143				
202600082	01/02/2026 08:38:25	WESTVIEW APTS   427 W ALLENTON ST 17, MT GILEAD	SUSPICIOUS PERSON/VEH/ACTIVITY	UNABLE TO LOCATE-CONTACT-AREA CHECKED
<b>Units</b> 705			<b>OCA(s)</b>	
<b>Notes</b> EITHER UPSTAIRS OR OUTSIDE SMOKING SCHEDULE; SAME IS COMING INTO THE CALLERS APT				
202600101	01/02/2026 15:24:06	406 S WADESBORO BLVD, MT GILEAD	DOMESTIC	ARREST(s)
<b>Units</b> 704, 705			<b>OCA(s)</b> 01-26-001	
<b>Notes</b> ARGUING WITH SON I FONARD WHITEHEAD LINK WFAPONS <b>RATKINSON 01/02/2026 15:57:56 E,F,L,R,O</b> MAG NOTIFIED				
202600162	01/03/2026 10:48:10	HARRIS FUNERAL HOME   2529 NC HWY 109 S, MT GILEAD	ESCORT	CLEAR-10-24
<b>Units</b> 705			<b>OCA(s)</b>	
<b>Notes</b> MT GILEAD PD HOLD 12 NEED AT 0130 AT THE ELEMENTARY SCHOOL GOING TO DRY CREEK GET LIP WITH HFR AT THE SCHOOL <b>JHENLEY 01/03/2026 10:51:21 E,F,L,R,O</b> CLEAR-10-24 - 705 WAS NOTIFIED				
202600176	01/03/2026 13:15:00	MT GILEAD ELEMENTARY   102 S SCHOOL ST, MT GILEAD	ESCORT	CLEAR-10-24
<b>Units</b> 705			<b>OCA(s)</b>	
<b>Notes</b> FUNERAL AT THE ELEMENTARY SCHOOL AT NOON, WILL NEED ESCORT OUT OF THE PARKING LOT AT 1330 THEY WILL BE TRAVELING TO DRY CREEK.				
202600216	01/03/2026 23:09:14	WESTVIEW APTS   427 W ALLENTON ST, MT GILEAD	NOISE VIOLATION	UNABLE TO LOCATE-CONTACT-AREA CHECKED
<b>Units</b> 703			<b>OCA(s)</b>	

CFS #	Date/Time	Location	Call Type	Disposition
<b>Notes</b>	LOUD NOISE ADV IT IS COMING FROM THE LEFT HAND SIDE WHEN YOU PULL IN. NEAR 14, 15, 17 AND 18. ADV THERE IS NOT SUPPOSE TO BE LOUD MUSIC AFTER 10 PM			
202600227	01/04/2026 01:27:09	JULIUS CHAMBERS AVE \ MARSHALL ST	DOMESTIC	CLEAR-10-24
<b>Units</b>	703	<b>OCA(s)</b>		
<b>Notes</b>	I ADANA I ITTI F IS 10-56 CAUSING ISSUES AND TRYING TO WAI K HOME AND SHE IS FOI LOWING HIM <b>SSIMPSON 01/04/2026 01:31:49 E,F,L,R,O</b> CLR NOW PLOTTING ON NC HWY 109 S BETWEEN WILLIAMS ST AND EMMALINE ST <b>BSALAZAR 01/04/2026 01:36:50 E,F,L,R,O</b> CLEAR-10-24 - MALE SUBJ WANTED FM TO LEAVE HIM ALONE. 703 ADV FM SUBJ LEFT AND MALE IS STILL WALKING/			
202600253	01/04/2026 14:28:13	210 MASKE RD, MT GILEAD	WELFARE CHECK	CLEAR-10-24
<b>Units</b>	705	<b>OCA(s)</b>		
<b>Notes</b>				
202600258	01/04/2026 15:39:15	W ALLENTON ST \ NORTHVIEW RD	TRAFFIC STOP	CLEAR-10-24
<b>Units</b>	705	<b>OCA(s)</b>		
<b>Notes</b>				
202600259	01/04/2026 15:48:10	W INGRAM ST \ N MAIN ST	TRAFFIC STOP	CLEAR-10-24
<b>Units</b>	705	<b>OCA(s)</b>		
<b>Notes</b>				
202600260	01/04/2026 15:58:25	FOOD KING MT GILEAD   112 S MAIN ST, MT GILEAD	TRAFFIC STOP	CITATION(S) ISSUED
<b>Units</b>	705	<b>OCA(s)</b>		
<b>Notes</b>				
202600261	01/04/2026 16:17:29	NC HWY 109 S \ MCKINNON RD	TRAFFIC STOP	CITATION(S) ISSUED
<b>Units</b>	705	<b>OCA(s)</b>		
<b>Notes</b>				
202600302	01/05/2026 02:49:31	535 PARKERTOWN RD, MT GILEAD	NOISE VIOLATION	UNABLE TO LOCATE-CONTACT-AREA CHECKED
<b>Units</b>	703	<b>OCA(s)</b>		
<b>Notes</b>	tv is loud and they are disturbing the peace <b>SSIMPSON 01/05/2026 03:00:08 E,F,L,R,O</b> 703 ADV NO ONE CAME TO THE DOOR AT THIS RESIDENCE AND DOESN'T HEAR ANYTHING LOUD			
202600347	01/05/2026 16:24:06	MT GILEAD MARKET   112 S MAIN ST, MT GILEAD	WELFARE CHECK	UNABLE TO LOCATE-CONTACT-AREA CHECKED
<b>Units</b>	706	<b>OCA(s)</b>		
<b>Notes</b>	ELIZABETH GARNER 1/3/75 W/F SHORT BROWN HAIR - 7047232598 CHIP HAWKINS - BOYFRIEND			
202600354	01/05/2026 17:07:55	206 S CEDAR ST, MT GILEAD	SUSPICIOUS PERSON/VEH/ACTIVITY	CLEAR-10-24
<b>Units</b>	706	<b>OCA(s)</b>		
<b>Notes</b>	car parked in her driveway and doesnt know what to do hyundai pc			
202600359	01/05/2026 18:13:50	102 E SECOND AVE, MT GILEAD	LARCENY	REPORT TAKEN
<b>Units</b>	702	<b>OCA(s)</b> 01-26-002		
<b>Notes</b>	BICYCLE			

CFS #	Date/Time	Location	Call Type	Disposition
202600487	01/07/2026 09:01:50	C'S - FOOD CENTER   101 JULIUS CHAMBERS AVE, MT GILEAD	WELFARE CHECK	CLEAR-10-24
<b>Units</b>	705	<b>OCA(s)</b>		
<b>Notes</b>	MAI F IS ASI FFP INSIDE A SUV TRUCK BLOCKING TRAFFIC IN FRONT OF C's <b>RATKINSON 01/07/2026 09:09:10 E,F,L,R,O</b> CLEAR-10-24 - SUBJ 10-4			
202600521	01/07/2026 15:09:56	261 BRUTON CARPENTER RD, MT GILEAD	CIVIL	CLEAR-10-24
<b>Units</b>	704, 705	<b>OCA(s)</b>		
<b>Notes</b>	CIVIL WITH A GRACE SHIRT NO WEAPON AT THIS TIME <b>ESLAGLE 01/07/2026 15:11:15 E,F,L,R,O</b> TRULA GRACE SAUNDERS <b>ESLAGLE 01/07/2026 15:11:45 E,F,L,R,O</b> CALLER 910-773-6233 <b>ESLAGLE 01/07/2026 15:12:29 E,F,L,R,O</b> BETTY JOE MARTIN WAS THREATENING HER; CALLERS BOYFRIENDS MOTHER <b>RATKINSON 01/07/2026 15:13:31 E,F,L,R,O</b> 121 REQ 705 MUTUAL AID <b>ESLAGLE 01/07/2026 15:13:54 E,F,L,R,O</b> CALLER PINK SHORTS AND PINK TANK TOP; CALLER IS WALKING AWAY FROM THE RESIDENCE ON FOOT <b>ESLAGLE 01/07/2026 15:14:04 E,F,L,R,O</b> WALKING TOWARDS MT GILEAD <b>ESLAGLE 01/07/2026 15:19:28 E,F,L,R,O</b> CALLER IS BETWEEN THE ADDRESS AND VANCIE DR <b>ESLAGLE 01/07/2026 16:53:56 E,F,L,R,O</b> 121 REQ EMS TO RESPOND 10-18 TRAFFIC DUE TO THE MALE IS NOW UNCONSCIOUS			
202600534	01/07/2026 16:47:48	HAMER CREEK BAPTIST CHURCH   4830 NC HWY 109 S, MT GILEAD	ALARM (NOT FIRE) COMMERCIAL	CLEAR-10-24
<b>Units</b>	705	<b>OCA(s)</b>		
<b>Notes</b>	X2 ENTRY EXIT 7N5/SII /ATT RFP/910-439-4595/7024 RFF 160773R <b>RATKINSON 01/07/2026 16:49:54 E,F,L,R,O</b> 120 REQ 705 MUTUAL AID <b>RATKINSON 01/07/2026 16:55:31 E,F,L,R,O</b> ASHLEY FARRINGTON IS ONSCENE			
202600545	01/07/2026 18:04:35	603 JULIUS CHAMBERS AVE, MT GILEAD	SHOTS FIRED	UNABLE TO LOCATE-CONTACT-AREA CHECKED
<b>Units</b>	703	<b>OCA(s)</b>		
<b>Notes</b>	HEARD LOTS OF SHOTS A FEW MINUTES AGO. COMING FROM THE LEFT OF HER HOUSE			
202600596	01/08/2026 13:51:39	2107 COUNTRY LN, MT GILEAD	WELFARE CHECK	CLEAR-10-24
<b>Units</b>	705	<b>OCA(s)</b>		
<b>Notes</b>	REF TO CALLERS MOTHER A PATSY WATKINS LAST SPOKEN TO HER LAST NIGHT: UNABLE TO REACH HER TODAY <b>ESLAGLE 01/08/2026 13:52:47 E,F,L,R,O</b> SENT NAME AND NUMBER TO 705 PS			
202600609	01/08/2026 16:09:18	WESTVIEW APTS   427 W ALLENTON ST 18, MT GILEAD	LARCENY	REPORT TAKEN
<b>Units</b>	705	<b>OCA(s)</b> 01-26-003		
<b>Notes</b>	REF TO LARCENY OF A FIREARM			
202600622	01/08/2026 20:06:42	PAPERWORK INDUSTRIES   5465 NC HWY 73 W, MT GILEAD	TRANSPORTATION PI	CLEAR-10-24

CFS #	Date/Time	Location	Call Type	Disposition
<b>Units</b> 703			<b>OCA(s)</b>	
<b>Notes</b>	RI IIF HONDA CRV VS DEER NOTHING I FAKING OR SMOKING 1 ADULT AND 2 ILLIENIE PATIENTS 2 AND 3 Y/O CALLER IS REQ <b>BSALAZAR 01/08/2026 20:08:40 E</b> 1st Party - Age unknown, Gender unknown, Consciousness unknown, Breathing status unknown. Multiple patients involved: 2. <b>BSALAZAR 01/08/2026 20:09:07 E</b> 1st Party - Age unknown, Gender unknown, Consciousness unknown, Breathing status unknown. Multiple patients involved: 2. Chief Complaint: Traffic Collision / Transportation Incident Dispatch Level: 29A02 Suffix: V Response: Alpha CADCode: 29A02V <b>BSALAZAR 01/08/2026 20:09:23 E</b> 1st Party - Age unknown, Gender unknown, Consciousness unknown, Breathing status unknown. Multiple patients involved: 2. <b>SSIMPSON 01/08/2026 20:10:19 E,F,L,R,O</b> 703 ADV SAME WILL BE JUST OUTSIDE OF LIMITS, NOTIFYING SHP OF SAME <b>SSIMPSON 01/08/2026 20:11:54 E,F,L,R,O</b> 07C000003O.SEND XEA1, WE HAVE A 10-50 PI, VEH VS DEER AT 5465 NC HWY 73 W, MT GILEAD. XSTRRET OF NORTHVIEW RD. CLR HAS 2 CHILDREN IN THE VEH, REQ EMS TO CHECK THEM OUT SO WE HAVE FIRE AND EMS ENROUTE AT THIS TIME. WE HAD A MT GILEAD OFFICER RESPOND DUE TO IT BEING CLOSE TO THE CITY LIMITS BUT HE DID CONFIRM SAME IS IN THE COUNTY <b>SSIMPSON 01/08/2026 20:31:49 E,F,L,R,O</b> 703 ADV VEH OFF RDWY, HE IS 10-8 AND WILL BE STANDING BY WAITING ON SHP			
202600655	01/09/2026 07:12:47	M CRAE INDUSTRIES INC   400 N MAIN ST, MT GILEAD	ALARM (NOT FIRE) COMMERCIAL	CLEAR-10-24
<b>Units</b> 706			<b>OCA(s)</b>	
<b>Notes</b>	ZONE 6 PERM BURG ALARM / ZONE 10 INTERIOR BURG ALARM / KEY HOLDER BRYAN TILLEY 9105712724			
202600669	01/09/2026 11:09:10	MT GILEAD PD   123 N MAIN ST, MT GILEAD	DOMESTIC	ARREST(s)
<b>Units</b> 706			<b>OCA(s)</b> 01-26-004	
<b>Notes</b>	<b>MHUSSEY 01/09/2026 11:14:00 E,F,L,R,O</b> 10-4 <b>MHUSSEY 01/09/2026 11:36:43 E,F,L,R,O</b> MAG NOTIFIED			
202600671	01/09/2026 11:47:45	503 N MAIN ST, MT GILEAD	SUSPICIOUS PERSON/VEH/ACTIVITY	CLEAR-10-24
<b>Units</b> 701			<b>OCA(s)</b>	
<b>Notes</b>				
202600675	01/09/2026 12:07:29	MT GILEAD ELEMENTARY   102 S SCHOOL ST, MT GILEAD	INFORMATION	CLEAR-10-24
<b>Units</b> 701			<b>OCA(s)</b>	
<b>Notes</b>				
202600744	01/10/2026 10:47:21	PRIDE PLUMBING   205 N MAIN ST, MT GILEAD	ALARM (NOT FIRE) COMMERCIAL	CLEAR-10-24
<b>Units</b> 706			<b>OCA(s)</b>	
<b>Notes</b>	hav door <b>TLAWING 01/10/2026 10:54:46 E,F,L,R,O</b> CLEAR-10-24 - back door unlocked and cant be secured per 706			
202600776	01/10/2026 18:22:30	251 MYRTLEWOOD DR, MT GILEAD	SHOTS FIRED	CLEAR-10-24
<b>Units</b> 702			<b>OCA(s)</b>	
<b>Notes</b>	CALLER ADV SHOTS BEING FIRED IN THE AREA OF HFR RESIDENCE <b>BSALAZAR 01/10/2026 18:38:08 E,F,L,R,O</b>			

CFS #	Date/Time	Location	Call Type	Disposition
CLEAR-10-24 - 702 ADV HE SPOKE WITH THE NEIGHBOR AT 253 MYRTLEWOOD DR AND THEY ADV SAME SOUNDED TO BE COMING FROM LEFLERS PLACE/NC HWY 73				
202600790	01/10/2026 22:11:57	317 NORTHVIEW RD, MT GILEAD	STRANDED/ABANDONED BOAT/VEH	CLEAR-10-24
<b>Units</b>	702	<b>OCA(s)</b>		
<b>Notes</b>	not car stuck in ditch in yard wants leo to help her get car out adv her they could call a 10-51 <b>BSALAZAR 01/10/2026 22:22:04 E,F,L,R,O</b> CLEAR-10-24 - VEHICLE IS INDEED STUCK IN A DITCH TRYING TO LEAVE DRIVEWAY. 702 ADV CALLER TO CONTACT A 10-51.			
202600804	01/11/2026 04:37:10	PRIDE PLUMBING   205 N MAIN ST, MT GILEAD	ALARM (NOT FIRE) COMMERCIAL	CLEAR-10-24
<b>Units</b>	702	<b>OCA(s)</b>		
<b>Notes</b>	bay door motion, no contact			
202600823	01/11/2026 12:33:11	150 EMMALINE ST, MT GILEAD	DOMESTIC	CLEAR-10-24
<b>Units</b>	706	<b>OCA(s)</b>		
<b>Notes</b>	f is adv m is fighting her brandon drake no weapons			
202600826	01/11/2026 13:03:55	155 EMMALINE ST, MT GILEAD	911 HANG UP	CLEAR-10-24
<b>Units</b>	706	<b>OCA(s)</b>		
<b>Notes</b>	open line screaming			
202600859	01/11/2026 20:53:24	WESTVIEW APTS   427 W ALLENTON ST 10, MT GILEAD	STRUCTURE FIRE	CLEAR-10-24
<b>Units</b>	702	<b>OCA(s)</b> 01-26-005		
<b>Notes</b>	POSSIBLE ELECTRICAL PROBLEM SMOKE COMING FROM THE BATHROOM <b>BSALAZAR 01/11/2026 21:03:07 E,F,L,R,O</b> C21 ADV NOTHING SHOWING. REQ RESPONDING UNITS BACK DOWN TO ROUTINE. <b>BSALAZAR 01/11/2026 21:05:04 E,F,L,R,O</b> C23 ADV WORKING ATTIC FIRE <b>BSALAZAR 01/11/2026 21:05:38 E,F,L,R,O</b> E563 ENROUTE <b>BSALAZAR 01/11/2026 21:09:07 E,F,L,R,O</b> C21 ADV FIRE UNDER CONTROL <b>BSALAZAR 01/11/2026 21:13:28 E,F,L,R,O</b> E563 ON SCENE <b>BSALAZAR 01/11/2026 21:20:16 E,F,L,R,O</b> C21 REQ RED CROSS MEMBER CONTACT HIM <b>BSALAZAR 01/11/2026 21:25:27 E,F,L,R,O</b> SPOKE WITH TONYA AT RED CROSS AND ADV OF SAME <b>BSALAZAR 01/11/2026 21:25:50 E,F,L,R,O</b> RED CROSS WILL MAKE CONTACT C21 WITHIN THE NEXT 2 HRS. <b>BSALAZAR 01/11/2026 21:28:16 E,F,L,R,O</b> C21 ADV SAME WAS AN ELECTRICAL ISSUE WITH THE VENT FAN IN THE BATHROOM. POWER TO APARTMENT HAS BEEN CUT OFF.			
202600893	01/12/2026 09:31:35	119 S MAIN ST, MT GILEAD	ALARM (NOT FIRE) RESIDENTIAL	CLEAR-10-24
<b>Units</b>	703	<b>OCA(s)</b>		
<b>Notes</b>	EVANS RESD/SIDE DOOR/SII /ATT RFP/910-439-6314/OP 7097 RFF 1237706 <b>RATKINSON 01/12/2026 09:37:37 E,F,L,R,O</b> ALM CO ADV 10-22 OP 7038			
202600912	01/12/2026 12:24:11	514 W ALLENTON ST, MT GILEAD	PROWLER	CLEAR-10-24
<b>Units</b>	701, 703	<b>OCA(s)</b>		

CFS #	Date/Time	Location	Call Type	Disposition
<b>Notes</b>	CIL R ADV SHE IS CURRENTLY OUT OF TOWN AND CAN ACTIVELY SEE SOMEONE TRYING TO GET INTO HER REFD NO FURTHER <b>JHENLEY 01/12/2026 12:38:33 E,F,L,R,O</b> CLEAR-10-24 - 701 ADV SPOKE WITH THE HOMEOWNER AND ALL WINDOW DOORS ARE SECURED AT THIS TIME			
202600921	01/12/2026 14:42:57	S WADESBORO BLVD \ W ALLENTON ST	TRANSPORTATION PI	REPORT TAKEN
<b>Units</b>	703, 704		<b>OCA(s)</b> 01-26-006	
<b>Notes</b>	CAR & TRUCK 2 PFOPI F AT THIS INTERSECTION <b>JHENLEY 01/12/2026 14:44:22 E</b> 100-year-old, Female, Conscious, Breathing. <b>JHENLEY 01/12/2026 14:45:08 E</b> 100-year-old, Female, Conscious, Breathing. Chief Complaint: Traffic Collision / Transportation Incident Problem Desc: ACCIDENT Dispatch Level: 29B05 Response: Bravo CADCode: 29B05 <b>JHENLEY 01/12/2026 14:45:18 E</b> 100-year-old, Female, Conscious, Breathing. <b>JHENLEY 01/12/2026 14:45:58 E,F,L,R,O</b> 1 DRIVER IS STILL IN THE VEH, AND THE OTHER DRIVER IS OUT OF THE VEH <b>RATKINSON 01/12/2026 14:46:38 E,F,L,R,O</b> 2ND DRIVER ADV HE WAS 10-4 <b>RATKINSON 01/12/2026 14:47:10 E,F,L,R,O</b> 371 10-17 AFTER REFUEL <b>RATKINSON 01/12/2026 14:49:27 E,F,L,R,O</b> 703 ADV FEMALE WILL BE ABLE TO GET OUT OF VEH <b>JHENLEY 01/12/2026 15:14:36 E,F,L,R,O</b> 371 ADV PT REFUSAL			
202600927	01/12/2026 16:22:06	PRIDE PLUMBING   205 N MAIN ST, MT GILEAD	ALARM (NOT FIRE) COMMERCIAL	CLEAR-10-24
<b>Units</b>	703		<b>OCA(s)</b>	
<b>Notes</b>	PRIDE PLUMBING WAREHOUSE BAY DOOR MOTION DETECTOR AT ZONE 11 UNKN ASSUM SII FNT KYHI DR JIM SHARPE 910-975- <b>JHENLEY 01/12/2026 16:24:49 E,F,L,R,O</b> ALARM CO CALLED AND ADV SAME ACCIDENTAL GOT PROPER PASSCODE OP#7095			
202600948	01/12/2026 18:41:10	BROWNING ELECTRIC   4577 NC HWY 73 W, MT GILEAD	TRAFFIC ACCIDENTS (PD)	REPORT TAKEN
<b>Units</b>	705		<b>OCA(s)</b> 01-26-007	
<b>Notes</b>	10-50 W/ ANIMAL			
202600953	01/12/2026 20:08:31	526 PARKERTOWN RD, MT GILEAD	SICK PERSON (SPECIFIC DIAGNOSIS)	CLEAR-10-24
<b>Units</b>	705		<b>OCA(s)</b>	
<b>Notes</b>	<b>JWHITAKER 01/12/2026 20:09:41 E</b> 73-year-old, Male, Conscious, Breathing. <b>JWHITAKER 01/12/2026 20:10:12 E</b> 73-year-old, Male, Conscious, Breathing. Chief Complaint: Sick Person (Specific Diagnosis) Dispatch Level: 26A01 Response: Alpha CADCode: 26A01			
202600965	01/13/2026 07:16:05	C&R DRUG (COCHRANE-RIDENHOUR)   116 S MAIN ST, MT GILEAD	ALARM (NOT FIRE) COMMERCIAL	CANCELED-10-22
<b>Units</b>	703		<b>OCA(s)</b>	
<b>Notes</b>	INT CTRI RM MOT/ALID/ATT RFP/910-652-5261/OP 7105 RFF 1236364			

CFS #	Date/Time	Location	Call Type	Disposition
<b>RATKINSON 01/13/2026 07:17:12 E,F,L,R,O</b>				
ALM CO ADV 10-22 OP 7105				
202601060	01/14/2026 13:28:44	PRIDE PLUMBING   205 N MAIN ST, MT GILEAD	ALARM (NOT FIRE) COMMERCIAL	CLEAR-10-24
<b>Units</b>	706	<b>OCA(s)</b>		
<b>Notes</b>	bay door			
202601111	01/15/2026 08:43:37	THE GILEAD   110 ROOSEVELT AVE, MT GILEAD	LARCENY	REPORT TAKEN
<b>Units</b>	706	<b>OCA(s)</b> 01-26-008		
<b>Notes</b>	RM103 - ADV BOUGHT WHITE PANTS; BELIEVES SOMEONE HAS STOLEN SAME.			
202601117	01/15/2026 10:04:22	DOLLAR GENERAL MT GILEAD   176 S WADESBORO BLVD, MT GILEAD	COMMUNICATING THREATS	CLEAR-10-24
<b>Units</b>	704	<b>OCA(s)</b>		
<b>Notes</b>	customer was threatening clerk left in a white suv blk m white t shirt dreads left towards burger shack toward 109			
202601121	01/15/2026 10:21:47	126 NORTHVIEW RD, MT GILEAD	TRAFFIC ACCIDENTS (PD)	CLEAR-10-24
<b>Units</b>	704	<b>OCA(s)</b>		
<b>Notes</b>				
202601200	01/16/2026 09:43:22	TOBE MANUFACTURING   603 W ALLENTON ST, MT GILEAD	TRAFFIC ACCIDENTS (PD)	REPORT TAKEN
<b>Units</b>	703	<b>OCA(s)</b> 01-26-009		
<b>Notes</b>	10-50 VEH VS DEER - CHEV BLAZER GREY - NO INJURIES NOTHING LEAKING/SMOKING			
202601210	01/16/2026 13:03:30	629 PARKERTOWN RD, MT GILEAD	FALLS	CLEAR-10-24
<b>Units</b>	701	<b>OCA(s)</b>		
<b>Notes</b>	CON/AL FRT BRUISE ON FACE <b>RATKINSON 01/16/2026 13:04:20 E</b> CFS # 202601210 has been cancelled in emergency dispatch software. LEO REQUEST			
202601225	01/16/2026 16:52:00	TRUIST   200 N MAIN ST, MT GILEAD	TRAFFIC ACCIDENTS (PD)	REPORT TAKEN
<b>Units</b>	703	<b>OCA(s)</b> 01-26-010		
<b>Notes</b>	WHITE PICKUP AND WHITE SEDAN			
202601265	01/17/2026 06:44:28	THE GILEAD   110 ROOSEVELT AVE, MT GILEAD	CARDIAC OR RESPIRATORY ARREST - DEATH	REPORT TAKEN
<b>Units</b>	703, 706	<b>OCA(s)</b> 01-26-011		
<b>Notes</b>	NOT BREATHING FACILITY REFUSED TO DO CPR <b>RATKINSON 01/17/2026 06:46:09 E</b> 75-year-old, Female, Not Conscious, Not Breathing. <b>RATKINSON 01/17/2026 06:46:11 E</b> 75-year-old, Female, Not Conscious, Not Breathing. Chief Complaint: Cardiac or Respiratory Arrest / Death Problem Desc: CARDIAC ARREST Dispatch Level: 09E01 Response: Echo CADCode: 9E01 <b>RATKINSON 01/17/2026 06:46:12 E</b> 75-year-old, Female, Not Conscious, Not Breathing. <b>RATKINSON 01/17/2026 06:46:35 E</b> 75-year-old, Female, Not Conscious, Not Breathing.			
202601266	01/17/2026 07:38:12	PRIDE PLUMBING   205 N MAIN ST, MT GILEAD	ALARM (NOT FIRE) COMMERCIAL	CANCELED-10-22

CFS #	Date/Time	Location	Call Type	Disposition
<b>Units</b> 703			<b>OCA(s)</b>	
<b>Notes</b>	910-439-9598 RAY DOOR MOTION ZONE 11 X3 ACTIVATIONS SII FNT KEYHI DR IIM SHARPF 910-975- <b>RATKINSON 01/17/2026 07:45:15 E,F,L,R,O</b> KM CO ADV TO 10-22 OP 7038			
202601270	01/17/2026 08:03:34	MCRAE INDUSTRIES INC   400 N MAIN ST, MT GILEAD	ALARM (NOT FIRE) COMMERCIAL	CLEAR-10-24
<b>Units</b> 703			<b>OCA(s)</b>	
<b>Notes</b>	CORPORATE SHED /SIL/ATT REP/910-439-4072/OP 7152 REF 1558582			
202601309	01/17/2026 19:11:57	MT GILEAD PD   123 N MAIN ST, MT GILEAD	INFORMATION	CLEAR-10-24
<b>Units</b> 705			<b>OCA(s)</b>	
<b>Notes</b>	CLR IN A 2024 MAZDA BLUE IN COLOR.. TIFFANY TYSON IS WITH HER WANTING TO FILE A REPORT			
202601315	01/17/2026 21:31:04	S MAIN ST, MT GILEAD	TRAFFIC STOP	CITATION(S) ISSUED
<b>Units</b> 705			<b>OCA(s)</b>	
<b>Notes</b>				
202601317	01/17/2026 21:44:40	CAR WASH MT GILEAD   203 JULIUS CHAMBERS AVE, MT GILEAD	SUSPICIOUS PERSON/VEH/ACTIVITY	CLEAR-10-24
<b>Units</b> 705			<b>OCA(s)</b>	
<b>Notes</b>				
202601362	01/18/2026 22:53:03	102 W SECOND AVE, MT GILEAD	SUSPICIOUS PERSON/VEH/ACTIVITY	CLEAR-10-24
<b>Units</b> 705			<b>OCA(s)</b>	
<b>Notes</b>	RIDE THRU THE AREA ADV SOMEONE IS DIGGING IN HER WINDOW			
202601438	01/20/2026 08:17:08	407 STANBACK ST, MT GILEAD	COMMUNICATING THREATS	WARRANTS ADVISED
<b>Units</b> 706			<b>OCA(s)</b> 01-26-012	
<b>Notes</b>				
202601470	01/20/2026 14:34:44	MT GILEAD PD   123 N MAIN ST, MT GILEAD	FOLLOWUP INVESTIGATION	CLEAR-10-24
<b>Units</b> 706			<b>OCA(s)</b>	
<b>Notes</b>				
202601472	01/20/2026 15:05:05	317 NORTHVIEW RD, MT GILEAD	DOMESTIC	CLEAR-10-24
<b>Units</b> 706			<b>OCA(s)</b>	
<b>Notes</b>				
202601477	01/20/2026 16:03:22	MCRAE FOOTWEAR DIVISION   125 WADEVILLE FIRE STATION RD, MT GILEAD	CARELESS & RECKLESS	ARREST(s)
<b>Units</b> 706			<b>OCA(s)</b> 01-26-013	
<b>Notes</b>	109 s toward ma hura lfi7548 cr-v <b>MHUSSEY 01/20/2026 16:26:00 E,F,L,R,O</b> 10-4 <b>MHUSSEY 01/20/2026 16:35:26 E,F,L,R,O</b> 07CC00005L.NCICWS.QG.20260120163710. TO: MMC -1439099 20260120 16:37:10 5BED02C432 FROM: NCICWS 20260120 16:37:05 1N012A6D037FB12QG NC062013N  NO RECORD 11310887			

CFS #	Date/Time	Location	Call Type	Disposition
<b>MHUSSEY 01/20/2026 16:35:30 E,F,L,R,O</b>				
07CC00005H.NCICWS.QG.20260120163637. TO: MMC -1439097 20260120 16:36:37 5BED02C430 FROM: NCICWS 20260120 16:36:36 1N012A6D037FB02QG NC062013N  NO RECORD AEM940720				
202601597	01/21/2026 18:11:27	106 HIGHLAND AVE B, MT GILEAD	LARCENY	REPORT TAKEN
<b>Units</b>	705		<b>OCA(s)</b> 01-26-014	
<b>Notes</b>	came home and car is gone. unk when it was taken 2010 buick ford fusion <b>JWHITAKER 01/21/2026 20:04:59 E,F,L,R,O</b> 07CD00003W.NC2K.EV.20260121200316. TO: MMC -1439279 20260121 20:03:16 00067E8B05 FROM: NC2K 20260121 20:03:14 1L012A6D037FC63EV NC0620400 NIC/V367347178 VIN/3FAHP0JA2AR279366 OCA/26010014  <b>JWHITAKER 01/21/2026 20:05:14 E,F,L,R,O</b> UNSOL.III\$.H.20260121200315. TO: MMC -1439278 20260121 20:03:15 005DCA0340 FROM: III 20260121 20:03:14 \$.H. NC0620400 YOUR RECORD WITH NIC/V367347178 OCA/26010014 IS A POSSIBLE DELAYED INQUIRY MATCH PLEASE ASSURE YOUR ENTRY IS A REASONABLE MATCH WITH THE INQUIRY ON 1720 EST 20260121 CONTAINING: 1N010A5A0296BA2QV LIC/VCL2685 LIS/NC INQUIRING ORI/NCNHP1102 ATR/NC HP TROOP H MONROE 704 292-1539  <b>JWHITAKER 01/21/2026 20:07:01 E,F,L,R,O</b> 07CD000043.NC2K.XV.20260121200855. TO: MMC -1439281 20260121 20:08:55 00067E8CF7 FROM: NC2K 20260121 20:08:55 1L012A6D037FC73XV NC0620400 CANCEL NIC/V367347178			
202601607	01/21/2026 20:26:15	106 HIGHLAND AVE b, MT GILEAD	FOLLOWUP INVESTIGATION	CLEAR-10-24
<b>Units</b>	705		<b>OCA(s)</b>	
<b>Notes</b>				
202601612	01/21/2026 20:58:42	PRIDE PLUMBING   205 N MAIN ST, MT GILEAD	ALARM (NOT FIRE) COMMERCIAL	CLEAR-10-24
<b>Units</b>	705		<b>OCA(s)</b>	
<b>Notes</b>	hav door motion zone 11 <b>SSIMPSON 01/21/2026 21:01:37 E,F,L,R,O</b> CLEAR-10-24 - accidental			
202601686	01/22/2026 21:30:36	3789 NC HWY 73 W, MT GILEAD	TRANSPORTATION PI	CLEAR-10-24
<b>Units</b>	705		<b>OCA(s)</b>	
<b>Notes</b>	ALL DOORS STUCK HIT A BUNCH OF TREES. CANT GET OUT <b>JHENLEY 01/22/2026 21:31:40 E</b> 1st Party Alone - 26-year-old, Male, Conscious, Breathing. <b>JHENLEY 01/22/2026 21:32:47 E,F,L,R,O</b> PINNED IN <b>JHENLEY 01/22/2026 21:32:52 E,F,L,R,O</b>			

CFS #	Date/Time	Location	Call Type	Disposition
		OFF THE SIDE OF THE ROAD		
		<b>JHENLEY 01/22/2026 21:33:41 E,F,L,R,O</b>		
		SISTER LIVES AT 200 ANDERSON GROVE RD ALBEMARLE		
		<b>JHENLEY 01/22/2026 21:33:50 E</b>		
		1st Party Alone - 26-year-old, Male, Conscious, Breathing. Chief Complaint: Traffic Collision / Transportation Incident Problem Desc: TRANSPORTATION PI Dispatch Level: 29D05 Response: Delta CADCode: 29D05		
		<b>JHENLEY 01/22/2026 21:34:37 E,F,L,R,O</b>		
		2012 CHEVY MALIBU		
		<b>JHENLEY 01/22/2026 21:34:45 E</b>		
		1st Party Alone - 26-year-old, Male, Conscious, Breathing.		
		<b>JHENLEY 01/22/2026 21:35:06 E,F,L,R,O</b>		
		SISTER NAME IS BRITTNEY FRYE		
		<b>JHENLEY 01/22/2026 21:35:13 E,F,L,R,O</b>		
		OR AMBER FRYE		
		<b>SSIMPSON 01/22/2026 21:36:53 E,F,L,R,O</b>		
		STANLY ADV THEY WOULD SEND SOMEONE WILL GO OUT TO ATL SISTER AT ADDRESS IN STANLY		
		<b>JHENLEY 01/22/2026 21:38:15 E,F,L,R,O</b>		
		PT ADV HIS ENTIRE BODY IS TINGLING		
		<b>JHENLEY 01/22/2026 21:38:22 E,F,L,R,O</b>		
		DOES HAVE ASTHMA		
		<b>JHENLEY 01/22/2026 21:38:34 E,F,L,R,O</b>		
		HAVING DIFFICULTY BREATHING		
		<b>JHENLEY 01/22/2026 21:38:54 E,F,L,R,O</b>		
		TC TRYING TO GET HIM TO CONTROL HIS BREATHING AND CALM HIS BREATHING		
		<b>JHENLEY 01/22/2026 21:39:44 E,F,L,R,O</b>		
		TC CAN HEAR MULTIPLE PEOPLE IN THE BACKGROUND		
		<b>SSIMPSON 01/22/2026 21:40:03 E,F,L,R,O</b>		
		SHP NOTIFIED OF SAME		
		<b>JHENLEY 01/22/2026 21:40:16 E,F,L,R,O</b>		
		PT ADV HIS TIRES LOST TRACTION		
		<b>JHENLEY 01/22/2026 21:40:55 E,F,L,R,O</b>		
		TC DISCONNECTED FIRE DEPT ON SCENE		
		<b>JHENLEY 01/22/2026 21:41:19 E,F,L,R,O</b>		
		E211 ON SCENE ADV ONE VEH OFF THE ROADWAY VEH DID HIT HEAD ON		
		<b>JHENLEY 01/22/2026 21:42:03 E,F,L,R,O</b>		
		C23 ADV NO PIN IN AND PT CAN GET OUT ON HIS OWN, 10-22 RESCUE		
		<b>JHENLEY 01/22/2026 21:44:50 E,F,L,R,O</b>		
		C23 ADV 2 SHP ON SCENE		
		<b>JHENLEY 01/22/2026 21:49:57 E,F,L,R,O</b>		
		372 ADV 10-22 MED 1 HAS ONE PT COND GREEN		
		<b>JHENLEY 01/22/2026 21:50:29 E,F,L,R,O</b>		
		BRITTNEY FRYE 704-985-2885		
		<b>JHENLEY 01/22/2026 21:55:24 E,F,L,R,O</b>		
		GAVE PTS SISTERS NAM & P/S# VIA PHONE TO 372 TO GIVE TO SHP		
		<b>JHENLEY 01/22/2026 22:03:58 E,F,L,R,O</b>		
		C23 ADV ST 2 ASSIGN COMPLT...LEFT SCENE WITH SHP		
202601767	01/23/2026 22:03:58	465 NORTHVIEW RD, MT GILEAD	LARCENY	CLEAR-10-24

CFS #	Date/Time	Location	Call Type	Disposition
<b>Units</b> 702			<b>OCA(s)</b>	
<b>Notes</b>	bin white tk stole her fire wood from across the rd left towards hwy 731 <b>JWHITAKER 01/23/2026 22:05:36 E,F,L,R,O</b> clr is following him in a red suburban <b>JWHITAKER 01/23/2026 22:05:46 E,F,L,R,O</b> white tk has temp tag <b>JWHITAKER 01/23/2026 22:06:24 E,F,L,R,O</b> maske rd <b>SLATHAM 01/23/2026 22:11:36 E,F,L,R,O</b> JONATHAN SHAVER - SUBJ WHO TOOK THE WOOD, HAD PERMISSION FROM STEVEN SHAVER TO GET THE WOOD			
202601773	01/24/2026 00:58:59	102 W SECOND AVE, MT GILEAD	SUSPICIOUS PERSON/VEH/ACTIVITY	CLEAR-10-24
<b>Units</b> 702			<b>OCA(s)</b>	
<b>Notes</b>	someone digging in her back door, req a ride through			
202601801	01/24/2026 11:12:16	408 S WADESBORO BLVD, MT GILEAD	CITIZEN ASSIST	CLEAR-10-24
<b>Units</b> 706			<b>OCA(s)</b>	
<b>Notes</b>	NFFDS HEI PS FINDING WHERE TO CUT OFF HER WATER <b>MHUSSEY 01/24/2026 11:33:11 E,F,L,R,O</b> 706 ADV CONTACT PUBLIC WORKS. TC NOTIFIED SAME.			
202601804	01/24/2026 12:08:11	MT GILEAD ELEMENTARY   102 S SCHOOL ST, MT GILEAD	ESCORT	MESSAGE DELIVERED
<b>Units</b> 706			<b>OCA(s)</b>	
<b>Notes</b>	to 109s hold light at four way stop 1:30			
202601806	01/24/2026 12:23:16	CURTS VARIETY   201 N MAIN ST, MT GILEAD	TRESPASSING	CLEAR-10-24
<b>Units</b> 706			<b>OCA(s)</b>	
<b>Notes</b>				
202601832	01/24/2026 20:24:14	102 W SECOND AVE, MT GILEAD	DAMAGE TO PROPERTY	CLEAR-10-24
<b>Units</b> 702			<b>OCA(s)</b>	
<b>Notes</b>	someone tore her screen door latch off			
202601859	01/25/2026 10:30:26	206 E SECOND AVE, MT GILEAD	ESCORT	CLEAR-10-24
<b>Units</b> 706			<b>OCA(s)</b>	
<b>Notes</b>				
202601876	01/25/2026 16:10:58	LIBRARY-MT GILEAD   113 W ALLENTON ST, MT GILEAD	JUVENILE(s)	UNABLE TO LOCATE-CONTACT-AREA CHECKED
<b>Units</b> 706			<b>OCA(s)</b>	
<b>Notes</b>	BLACK JACKET ON A SCOOTER.			
202601878	01/25/2026 16:20:01	406 W ALLENTON ST, MT GILEAD	JUVENILE(s)	CLEAR-10-24
<b>Units</b> 706			<b>OCA(s)</b>	
<b>Notes</b>				
202601891	01/25/2026 20:29:12	102 W SECOND AVE, MT GILEAD	SUSPICIOUS PERSON/VEH/ACTIVITY	MESSAGE DELIVERED
<b>Units</b> 702			<b>OCA(s)</b>	
<b>Notes</b>	digging in her window			

CFS #	Date/Time	Location	Call Type	Disposition
202601922	01/26/2026 11:56:36	PRIDE PLUMBING   205 N MAIN ST, MT GILEAD	ALARM (NOT FIRE) COMMERCIAL	CLEAR-10-24
<b>Units</b>	705		<b>OCA(s)</b>	
<b>Notes</b>	PRIDE PLUMBING WAREHOUSE/BAY DOOR MOT/AUD/ATT REP/910-439-9598/OP 7105 REF 2328876			
202601946	01/26/2026 23:31:27	102 W SECOND AVE, MT GILEAD	DAMAGE TO PROPERTY	CLEAR-10-24
<b>Units</b>	703		<b>OCA(s)</b>	
<b>Notes</b>	someone knocked her window out <b>SSIMPSON 01/26/2026 23:37:00 E,F,L,R,O</b> CLEAR-10-24 - everything 10-4, no busted window			
202601955	01/27/2026 06:09:45	3110 PLEASANT VALLEY RD, MT GILEAD	SICK PERSON (SPECIFIC DIAGNOSIS)	CLEAR-10-24
<b>Units</b>	705		<b>OCA(s)</b>	
<b>Notes</b>	NEEDS RIDE TO HOSPITAL REF TO MISSING DIALYSIS <b>RATKINSON 01/27/2026 06:10:10 E</b> 1st Party - Age unknown, Male, Conscious, Breathing. <b>RATKINSON 01/27/2026 06:10:27 E</b> 1st Party - Age unknown, Male, Conscious, Breathing. Chief Complaint: Sick Person (Specific Diagnosis) Problem Desc: SICK PERSON Dispatch Level: 26A08 Response: Alpha CADCode: 26A08 <b>RATKINSON 01/27/2026 06:20:39 E,F,L,R,O</b> ATT RESD TO CONTACT 705 ... NO ANSWER <b>RATKINSON 01/27/2026 06:20:55 E,F,L,R,O</b> 705 ADV SCENE SECURE			
202602002	01/27/2026 16:45:22	525 WASHINGTON PARK RD	CIVIL DISTURBANCE	CLEAR-10-24
<b>Units</b>	704, 705		<b>OCA(s)</b>	
<b>Notes</b>				
202602015	01/27/2026 20:26:20	6002 PLEASANT VALLEY RD, MT GILEAD	MAN WITH A GUN	GONE ON ARRIVAL
<b>Units</b>	703		<b>OCA(s)</b>	
<b>Notes</b>	SON HAS A GUN IN THE HOUSE AND SHE DOESN'T ALLOW GUNS IN THE HOUSE <b>BSALAZAR 01/27/2026 20:28:31 E,F,L,R,O</b> CLEAR-10-24 - FM ADV 10-4. SAME IS WALKING TO HER COUSIN'S HOUSE. <b>BSALAZAR 01/27/2026 20:29:31 E,F,L,R,O</b> ADDED NOTES TO WRONG CALL.			
202602026	01/27/2026 21:31:15	JULIUS CHAMBERS AVE \ WILLIAMS ST	TRAFFIC STOP	WRITTEN WARNING
<b>Units</b>	703		<b>OCA(s)</b>	
<b>Notes</b>				

**Total: 81**

<b>Case Number</b>	<b>Violation Address</b>	<b>Owner or Occupant</b>	<b>Status or Conditions</b>
<b>PUBLIC NUISANCE VIOLATIONS</b>			
PN-25-12	510 Julius Chambers Avenue @ Emaline Street	Leon & Dorsey Turner	very large number of tires openly stored on the property, various forms of debris, and one or more junked/nuisance vehicles. Notice issued with deadline of 01-20-26. Owner requested extension of 90 days. Deadline 04-20-26.
PN-25-13	120 William Street	Richard A Powell & Elizabeth Powell	various forms of junk, debris, boxes, totes, clothing, and other similar items stored in the yard and on the front porch. Notice issued with deadline of 01-12-26. Owner called to advise that he is in the process of eviction and the tenant will be out around first week of February. Clean up will be complete soon thereafter. Mointoring.
<b>MINIMUM HOUSING</b>			

HC-25-01	500 West Allenton Street	Phillip L Kearns & Mildred M Lassiter (Deceased)	Substandard housing conditions, possible abandoned dwelling. Research was unable to find a valid address for the owners. Hearing notice issued by posting and publication. Hearing conducted on 11-20-25 with no parties in interest in attendance. Findings of Fact and Order issued by posting and publication. Order to Repair or Demolish by 02-24-26.
HC-25-03	156 Washington Park Road	Carrie J Little	Abandoned and dilapidated housing conditions. Yard completely overgrown. Inspection scheduled for 12-11-25 @ 10:00, with notice issued by First Class mail and posting on the property. Owner did not show for inspection. To be rescheduled with an Administrative Inspection Warrant.
<b>JUNKED/NUISANCE VEHICLE</b>			

MVO-24-01	VL on East Allenton Street	Curtis Speakman	Inspection appointment scheduled for 08-27-24. Received call from owner's attorney. Researching prior documentation from 2020 concerning the matter. Some documentation has been found. Conversation with attorney to schedule site visit seem to be delayed. Pending other enforcement actions.
MVO-24-02	202 East Allenton Street	Curtis Speakman	Inspection appointment scheduled for 08-27-24. Received call from owner's attorney. Researching prior documentation from 2020 concerning the matter. Some documentation has been found. Conversation with attorney to schedule site visit seem to be delayed. Pending other enforcement actions.
MVO-25-02	125 Washington Park Road	Tracey A Lemonds	one or more junked/nuisance vehicles. Notice issued with deadline of 12-03-25. Spoke with the property owner and met on site with the resident. Extended the deadline and will follow up again soon.

MVO-25-03	100 Highland Avenue	Cynthia Sue Byrd Haithcock and others	multiple junked/nuisance vehicles. Notice issued with deadline of 01-12-26. In communication with the owners concerning repairs and demonstration of operational status. Rescheduled due to storm.
<b>DEVELOPMENT ORDINANCE VIOLATIONS</b>			

<b>Meeting Date:</b> 1/6/2025	<b>Agenda Item Number:</b> III. A.
<b>Submitted By:</b> Barrett Brown	<b>Department:</b> Administration
<b>Attachments:</b> Public Comments	
<b>Topic:</b> Reading of Rules for Public Comment	

**Staff Summary:** It is the practice of the Town Board that the Rules for Public Comment be read aloud prior to the opening of the Public Comment period.

<b>Direct Cost:</b>	<b>Line Item Utilized:</b>
<b>Amount Remaining after Action:</b>	<b>In Current Budget:</b>
<b>Plans if Not in Current Budget:</b>	

**Staff Recommendation:**

**Examples of Motions:**

# TOWN OF MOUNT GILEAD

Post Office Box 325  
110 West Allenton Street  
Mount Gilead, North Carolina 27306  
Incorporated 1899  
Phone (910) 439-5111 – Fax (910) 439-1336

**Mayor**  
Sheldon Morley

**Mayor Pro Tem**  
Tim McAuley

**Commissioners**  
Vera Richardson  
Paula Covington  
Mary Lucas

**Town Manager**  
Barrett Brown

**Town Clerk**  
Lessie Jackson

## Rules for Public Comment

Meeting of the Town Board of Mount Gilead always include a Public Comment period. The purpose of this time is for members of the community and the general public to make their views known directly to the Town Board. To ensure a fair proceeding for all who wish to speak, please be aware of the following rules that were unanimously adopted in December 2016, that will be observed during all public meetings:

1. All persons wishing to speak shall do so from the podium to ensure an accurate record of testimony. Each person requesting to speak shall do so by signing their name, phone number on the Public Comment sign up sheet and must provide a phone number, address, and/or email address in order. No one is permitted to speak from the audience or interact and/or question the person speaking. This is a public comment session and not a public debate. Open Meetings laws for the State of North Carolina, section 197, pg. 87., and section 239, pg. 105, agree that a Mayor nor the Board of Commissioners are allowed to respond to public comment or debate with a citizen during this time. If a response is necessary, a separate meeting can be called to discuss the issue at hand or if the answer is readily available it will be answered during Department Reports by the Town Manager.
2. Each person who has signed up to speak shall have one opportunity to speak for a period not to exceed 3 minutes in duration. The speaker will not be permitted to speak again once they leave the podium, or their 3 minutes expire.
3. The Board requests that a group be represented by a spokesperson in order to keep repetitive testimony at a minimum. If this spokesperson is representing a group of more than 5 citizens, he/she is afforded the opportunity to speak for a period not to exceed 5 minutes.
4. Town staff will note all comments and provide answers directly to citizens or make information available town-wide during department reports or at the next meeting.
5. Inflammatory or immaterial testimony will not be allowed.
6. In addition to the comment period during the public meeting, individuals can provide written comments to the Town Board of Commissioners by submitting them in writing to the Town Clerk. This can be addressed by email to [clerk@mtgileadnc.com](mailto:clerk@mtgileadnc.com) or via USPS at PO Box 325, Mt. Gilead, NC 27306.

**AMENDMENT #1 TO THE AGREEMENT TO FURNISH PROFESSIONAL ENGINEERING SERVICES**

**TOWN OF MOUNT GILEAD, NORTH CAROLINA**

**2023 SANITARY SEWER IMPROVEMENTS**

**AMERICAN RESCUE PLAN – EARMARK – PROJECT NO.: SRP-W-ARP-0106**

**ORIGINAL AGREEMENT EXECUTED FEBRUARY 17, 2023**

This is Amendment #1 made this \_\_\_\_\_ day of \_\_\_\_\_, 2026, by and between the TOWN OF MOUNT GILEAD, NORTH CAROLINA, hereinafter called the TOWN, and LKC ENGINEERING, PLLC, hereinafter called LKC. This Amendment #1 is intended to supplement the originally executed Agreement with the same title and execution date as listed above.

The original Agreement scope was based on the funding allocated for the TOWN as part of SRP-W-ARP-0106.

This Amendment #1 modifies the scope based on the projected remaining contingency funds in the Town's SRP-W-ARP-0106 funding after the completion of the scope included in the original agreement and change order #1. With the projected remaining funds, the Town wishes to add the following scope modification:

1. Lift Station #9, located within the Tillery Tradition Country Club, will be rehabilitated to repair existing damages to the wetwell and force main discharge piping. Repairs include, but are not limited to, the installation of a protective wetwell coating system, the replacement of the lift station piping internal to the wetwell and valve vault, and the installation of a bypass connection.

LKC's original Engineering Service Agreement included a task for Geotechnical Investigations, which had a time and expense of not to exceed \$10,000. Geotechnical investigations were not performed during the original design, and they will not be necessary for the scope modifications described above. As such, the fee will be reduced accordingly.

LKC's scope and fees are modified as follows under this Amendment #1:

**I. ENGINEERING SERVICES – DESIGN AND PERMITTING**

The tasks for Design and Permitting shall be as described in the original Agreement. This Amendment adjusts LKC's fee based on the increase in project scope described above.

LKC's fee for DESIGN AND PERMITTING is modified under this Amendment #1 as follows:

Original Agreement Amount: \$205,000.00  
Amendment #1 Amount: \$11,000.00  
**Total Current Amount: \$216,000.00**

**II. ENGINEERING SERVICES – CONSTRUCTION MANAGEMENT AND INSPECTION**

The tasks for Construction Management and Inspection shall be as described in the original Agreement. This Amendment adjusts LKC's fee based on the increase in project scope described above.

LKC's fee for CONSTRUCTION MANAGEMENT AND INSPECTION is modified under this Amendment #1 as follows:

Original Agreement Amount: \$167,000.00  
Amendment #1 Amount: \$6,000.00  
**Total Current Amount: \$173,000.00**

**III. ENGINEERING SERVICES – GEOTECHNICAL INVESTIGATIONS**

A geotechnical investigation was not performed for this project. This Amendment reduces LKC's fee to reflect this.

LKC's fee for GEOTECHNICAL INVESTIGATIONS is modified under this Amendment #1 as follows:

Original Agreement Amount: \$10,000.00  
Amendment #1 Amount: \$(10,000.00)  
**Total Current Amount: \$0.00**

*\*This phase is time-and-expense, not to exceed*

The TOWN and LKC hereby agree to the full performance of the covenants contained within pages 1 through 4 of this Amendment #1 with Exhibits A herein.

IN WITNESS HEREOF, they have executed this Amendment #1, the day and the year first above written, which is the effective date of this Amendment.

**LKC ENGINEERING, PLLC**

**TOWN OF MOUNT GILEAD, NC**

By: \_\_\_\_\_  
Adam P. Kiker, P.E.  
Member/Manager

By: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

This instrument has been pre-audited in the manner required by the Local Government Budget and Fiscal Control Act.

\_\_\_\_\_  
Finance Officer

## EXHIBIT A

### HOURLY RATE STRUCTURE

**LKC ENGINEERING** offers a competitive rate structure to provide the highest quality of services with controlled overhead. The rates below cover all expenses, including travel time.

Hourly rates may change annually to reflect changes in overhead expenses, labor costs, and other market conditions.

MANAGING PARTNER	\$ 240.00/HOUR
PARTNER	\$ 200.00/HOUR
TEAM LEADER	\$ 180.00/HOUR
PROJECT MANAGER	\$ 150.00/HOUR
PROJECT ENGINEER	\$ 110.00/HOUR
LANDSCAPE ARCHITECT	\$ 150.00/HOUR
SENIOR DESIGNER	\$ 140.00/HOUR
DESIGNER	\$ 110.00/HOUR
SENIOR INSPECTOR	\$ 125.00/HOUR
INSPECTOR	\$ 105.00/HOUR
SURVEYOR	\$ 150.00/HOUR
LICENSED SURVEYOR	\$ 170.00/HOUR
ADMINISTRATOR	\$ 80.00/HOUR
MARKETING DIRECTOR	\$ 90.00/HOUR
FINANCE OFFICER	\$ 140.00/HOUR
FUNDING ADMINISTRATOR	\$ 100.00/HOUR
GIS COORDINATOR	\$ 140.00/HOUR

# ALBERT JOHNSON MEMORIAL PARK

## MT. GILEAD, NORTH CAROLINA

### SHEET INDEX

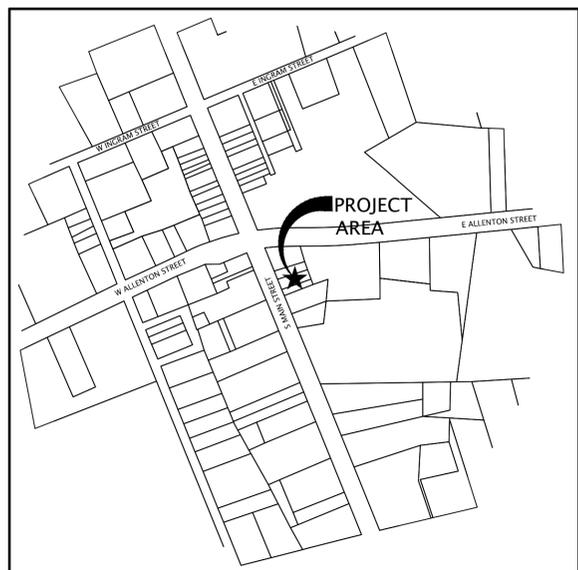
-	COVER SHEET
L-1.0	GENERAL NOTES AND LEGEND
L-2.0	EXISTING CONDITIONS AND DEMOLITION PLAN
L-3.0	SITE LAYOUT PLAN
L-4.0	GRADING AND DRAINAGE PLAN
L-5.0	SITE DETAILS
L-6.0	SITE DETAILS
S-1.0	SITE DETAILS
S-2.0	SHELTER DETAILS
S-3.0	PLANTING PLAN

### TOWN OF MT. GILEAD

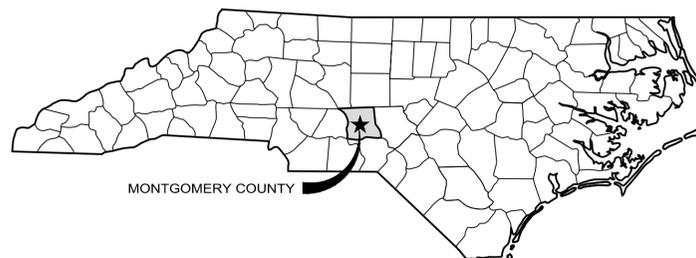
MAYOR	-	SHELDON POPLIN MORLEY
MAYOR PRO TEMPORE	-	TIM MCAULEY
COMMISSIONER	-	PAULA COVINGTON
COMMISSIONER	-	MARY LUCAS
COMMISSIONER	-	VERA RICHARDSON
TOWN MANAGER	-	BARRETT BROWN

### SITE DATA TABLE

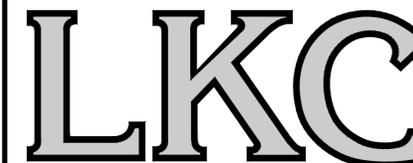
SITE DATA TABLE	
JURISDICTION	TOWN OF MT. GILEAD
PROPERTY OWNER	TOWN OF MT. GILEAD
OWNER'S ADDRESS	110 WEST ALLENTON STREET, PO BOX 325, MT. GILEAD, NC 28320
PROJECT ADDRESS	0 S. MAIN ST. MT. GILEAD, NC 27306
PROPERTY PARCEL ID	7498, 8404, & 8412
DEED INFORMATION	DB 758, PG. 82
PROPERTY ZONED	CB
PROJECT AREA ACREAGE	0.17 ACS.
TOTAL PROJECT AREA PRE-DEVELOPMENT IMPERVIOUS AREA	0.0 ACRES (0%)
TOTAL PROJECT AREA POST-DEVELOPMENT IMPERVIOUS AREA	0.50 ACRES (38%)
DISTURBED AREA	0.23 ACS.
PROPOSED GROSS SQUARE FOOTAGE OF BUILDINGS	0 SF
BUILDING SETBACKS	FRONT NONE REAR NONE SIDES NONE
TOTAL NUMBER OF PARKING SPACES REQUIRED	0 SPACES
TOTAL NUMBER OF PARKING SPACES PROVIDED	0 SPACES
TOTAL NUMBER OF HANDICAP PARKING SPACES REQUIRED	0
TOTAL NUMBER OF HANDICAP PARKING SPACES PROVIDED	0
RIVER BASIN	NAME YADKIN-PEE DEE CLASSIFICATION - STREAM INDEX -
FLOODPLAIN	MAP/DATE 3710750200J/ 1-02-08 PANEL 7502 FLOODPLAIN INVOLVEMENT ZONE "X"



PROJECT VICINITY MAP  
NOT TO SCALE



COUNTY LOCATION MAP  
NTS



Engineering  
Landscape Architecture  
Surveying

LKC Engineering, PLLC  
390 W. Pennsylvania Ave.  
Southern Pines, NC 28387  
O: 910.420.1437  
lkceengineering.com  
License No. P-1095

1. SURVEY, BASE MAPPING, & TOPOGRAPHICAL DATA FOR DEPOT PARKING LOT PROVIDED BY WRIGHT & FIELDS LAND SURVEYING; THOMAS JEFFREY FIELDS, PLS, LIC. # L-2906; 1340 ALBEMARLE RD. SUITE C, TROY, NC 27371, TEL #: 910-572-2449. SURVEY, BASE MAPPING, & TOPOGRAPHICAL DATA FOR DOWNTOWN PARKING PARKING LOTS PROVIDED BY LKC ENGINEERING, PLLC: JEFFERY GREEN, PLS LIC.# L-3972 AND FROM FIELD OBSERVATIONS.
2. THE GENERAL CONTRACTOR SHALL FIELD VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT THE JOB SITE.
3. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR WITH THE SURVEYOR OF RECORD PRIOR TO BEGINNING CONSTRUCTION. ONE BENCHMARK IS AN EXISTING NAIL SET IN CONCRETE (AS SHOWN ON PLAN), WITH AN ELEVATION OF 399.67'. ANOTHER BENCHMARK BEING AN EXISTING NAIL (AS SHOWN ON THE PLAN) WITH AN ELEVATION OF 398.64'.
4. THE VERTICAL DATUM FOR THIS SURVEY IS BASED ON NAVD 88.
5. ALL DIMENSIONS AND ALL ELEVATIONS ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE INTENT OF THE LIMITS OF DISTURBANCE/CONSTRUCTION (LOD/C) SHOWN ON THE DRAWINGS IS TO DEFINE THE GENERAL PROJECT AREA TO CONSTRUCT, INSTALL AND/OR MODIFY THE SITE. TYPICALLY, THE LOD/C WILL FOLLOW RIGHT-OF-WAY OR PROPERTY LINES. THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE REGARDING ANY QUESTIONS AS TO THE EXACT LOCATION OF THE LOD/C PRIOR TO BID AND PRIOR TO BEGINNING CONSTRUCTION. ALL ITEMS SHOWN ON THESE PLANS THAT DO NOT SPECIFICALLY STATE "NOT-IN-CONTRACT (NIC), SHALL BE INCLUDED IN THE BID COST, INCLUDING ITEMS THAT MAY BE OUTSIDE THE PROJECT LIMITS.
7. LOCATIONS OF EXISTING UTILITY LINES HAVE BEEN TAKEN FROM UTILITY RECORDS SUPPLEMENTED BY FIELD INSPECTIONS AND SHOULD INDICATE IN GENERAL THE TYPE OF UNDERGROUND UTILITIES NOW IN SERVICE. LOCATIONS SHOWN ARE NOT GUARANTEED. DEVELOPERS AND/OR CONTRACTORS SHALL NOT ONLY MAKE SUBSURFACE INVESTIGATIONS BUT SHALL ALSO ALLOW FOR CONTINGENCIES WHICH MIGHT ARISE BY REASON OF ENCOUNTERING UNRECORDED LINES OR LINES BEING IN DIFFERENT LOCATIONS THAN INDICATED ON THESE PLANS. AT LEAST 48-HOURS PRIOR OR SOONER IF REQUIRED BY THE LOCAL MUNICIPALITY TO ANY CONSTRUCTION ACTIVITY, EXCAVATION, GRADING, OR DIGGING ON THE SITE, THE GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES TO VERIFY AND/OR FIELD-LOCATE THEIR RESPECTIVE UTILITIES (THE NORTH CAROLINA ONE CALL CENTER - 1-800-632-4949). ALL DAMAGE INCURRED TO EXISTING UTILITY LINES DURING CONSTRUCTION SHALL BE REPAIRED AT THE GENERAL CONTRACTORS EXPENSE.
8. ALL WASTE MATERIAL TO BE BROUGHT OFF-SITE SHALL BE DISPOSED OF IN A LEGALLY PERMITTED DISPOSAL SITE.
9. A FORMAL EROSION AND SEDIMENTATION CONTROL PERMIT IS NOT REQUIRED FOR THIS SITE UNDER THE REGULATIONS OF THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES (NCDENR). THE GENERAL CONTRACTOR IS REQUIRED TO AND SHALL FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS TO MINIMIZE EROSION AND THE TRANSPORT OF SEDIMENT OFF-SITE DURING CONSTRUCTION, INCLUDING THE PLACEMENT AND MAINTENANCE OF CONTROL MEASURES. ALL MEASURES REQUIRED SHALL BE INCLUDED IN THE BID COST WHETHER SPECIFICALLY INDICATED OR NOT.
10. ANY AND ALL PARKING STRIPES SHALL BE 4" WIDE AND SHALL BE MARKED WITH STANDARD WHITE TRAFFIC PAINT. ALL ISLANDS AND TRAFFIC ARROWS SHALL BE MARKED WITH STANDARD WHITE TRAFFIC PAINT.
11. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF BLADENBORO & STATE REQUIREMENTS.
12. DISTURBED AREAS NOT COVERED BY ASPHALT OR OTHER IMPERMEABLE SURFACES SHALL BE SEEDED AND STABILIZED PER SPECIFICATIONS.
13. ACCESSIBLE PARKING SPACES, ACCESS AISLES, & SIGNAGE SHALL BE PROVIDED BY THE GENERAL CONTRACTOR AND INSTALLED PER FEDERAL, STATE, AND LOCAL REQUIREMENTS UNDER THE AMERICANS WITH DISABILITIES ACT (ADA). STANDARD R7-8 RESERVED PARKING AND MAXIMUM PENALTY \$250 NCGS 20.37.6 SIGNS MUST BE INSTALLED IN FRONT OF ALL ACCESSIBLE PARKING SPACES. "VAN ACCESSIBLE" SIGNS MUST BE PROVIDED IN FRONT OF THE VAN ACCESSIBLE PARKING SPACE(S).
14. ALL TRAFFIC CONTROL DEVICES, PAVEMENT MARKINGS, SIGNS, AND SIGNALS SHALL BE DESIGNED, INSTALLED AND MAINTAINED IN CONFORMANCE WITH THE STANDARDS SET FORTH IN THE NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TREE PROTECTION FENCING AROUND ALL "AT-RISK" TREES WITHIN THE VICINITY OF THE CONSTRUCTION ACTIVITY WHETHER SPECIFICALLY INDICATED ON THE PLANS OR NOT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO BEGINNING ANY CONSTRUCTION OR OTHER DEVELOPMENT ACTIVITIES, AND SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT UNTIL FINAL SITE INSPECTION. REFER TO CONSTRUCTION PLAN DETAIL SHEETS FOR TREE PROTECTION DETAIL(S).
16. CONTRACTOR SHALL INSTALL A RAIN GAUGE AND MAINTAIN A MONITORING LOG ACCORDING TO NCDENR REQUIREMENTS UNTIL THE AGENCY HAS RELEASED THE SITE.
17. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL ACCORDING TO NCDOT REQUIREMENTS DURING THE CONSTRUCTION OF IMPROVEMENTS IN THE RIGHT-OF-WAY.
18. CONTRACTOR SHALL PROVIDE RED-LINE PRINTS OF ALL CHANGES AND MODIFICATIONS. THIS INFORMATION SHALL BE PROVIDED TO THE DESIGNER OF RECORD AT THE TIME OF SUBSTANTIAL COMPLETION.
19. FINAL INSPECTION AND APPROVAL SHALL BE MADE PRIOR TO CERTIFICATE OF OCCUPANCY BEING ISSUED.
20. CONTRACTOR SHALL MAINTAIN A COPY OF THE LOCAL AUTHORITY'S APPROVED PLANS ALONG WITH ANY PERMIT LETTERS THAT HAVE BEEN MARKED "APPROVED" OR "APPROVED AS CORRECTED" ON SITE DURING CONSTRUCTION.
21. ALL EXCAVATION IN THE PROJECT AREA SHALL BE UNCLASSIFIED. CONTRACTOR SHALL INCLUDE ALL COST ASSOCIATED WITH SOIL MATERIAL REMOVAL, REPAIR AND DISPOSAL UNDER THE BASE BID SCOPE OF WORK.

ALL GENERAL NOTES, ABBREVIATIONS, SYMBOLS, AND OTHER INFORMATION INDICATED ON THIS SHEET SHALL BE APPLIED TO ALL CONTRACT DOCUMENTS AND SHEETS IN THIS SET.

**1 GENERAL NOTES**  
L-1.0

ABBREVIATION:	DESCRIPTION:	ABBREVIATION:	DESCRIPTION:
A/C	AIR CONDITIONING	NIC	NOT IN CONTRACT
ADJ	ADJACENT	NTS	NOT TO SCALE
AL	AREA LIGHT		
APROX	APPROXIMATE	O.C.	ON CENTER
ASSM	ASSEMBLY	OHE	OVERHEAD ELECTRIC
ASPH	ASPHALT		
		PC	POINT OF CURVATURE
BLDG	BUILDING	PI	POINT OF INTERSECTION
B.O.	BLOW-OFF	PIV	POST INDICATION VALVE
BOC	BACK OF CURB	PP	POWER POLE
BOW	BOTTOM OF WALL	PT	POINT OF TANGENCY
BX	BOX	PVC	POLYVINYL CHLORIDE
		PVMT	PAVEMENT
C.F.	CUBIC FOOT		
CI	CURB INLET	R	RADIUS
CL	CENTER LINE	R.J.	RESTRAINED JOINT
CONC	CONCRETE	R/W, ROW	RIGHT OF WAY
CONST	CONSTRUCTION	RCP	REINFORCED CONCRETE PIPE
CY	CUBIC YARD	RDCO	ROOF DRAIN CLEAN OUT
		REOD	REQUIREMENT
DEMO	DEMOLISH (DEMOLITION)	ROMT	REQUIREMENT
DP	DEEP	RT	RIGHT
DI	DUCTILE IRON	RWM	RIGHT OF WAY MONUMENT
D.I.P.	DUCTILE IRON PIPE		
DIA	DIAMETER	SCH	SCHEDULE
DIM	DIMENSION	SD	STORM DRAIN
DWG	DRAWING	SDCO	STORM DRAIN CLEAN OUT
		SDMH	STORM DRAIN MANHOLE
ECM	EXISTING CONCRETE MONUMENT	SED	SEDIMENT
EIP	EXISTING IRON PIPE	SF	SQUARE FOOT
EIS	EXISTING IRON STAKE	SPEC	SPECIFICATION
ELEC	ELECTRIC	SQ	SQUARE
ELEV	ELEVATION	SS	SANITARY SEWER
ELMH	ELECTRICAL MANHOLE	SSCO	SANITARY SEWER CLEAN OUT
ENCL	ENCLOSURE	SSMH	SANITARY SEWER MANHOLE
EOC	EDGE OF CONCRETE	STA	STATION
EOP	EDGE OF PAVEMENT	SY	SQUARE YARD
EQPT	EQUIPMENT		
ESMT	EASEMENT	TBM	TEMPORARY BENCHMARK
EX	EXISTING	TEL	TELEPHONE
		TEMP	TEMPORARY
FES	FLARED END SECTION	THK	THICK
FFE	FINISH FLOOR ELEVATION	TOC, T/C	TOP OF CURB
FH	FIRE HYDRANT	TOW	TOP OF WALL
FNC	FENCE	TPED	TELEPHONE PEDESTAL
FO	FIBER OPTIC	TS&V	TAPPING SADDLE & VALVE
FOC	FACE OF CURB	TYP	TYPICAL
FT	FOOT		
		UGE	UNDERGROUND ELECTRIC
G.V.	GATE VALVE	UTIL	UTILITY
GALV	GALVANIZE		
GND	GROUND		
GRAV	GRAVEL		
HDPE	HIGH DENSITY POLYETHYLENE		
L	LENGTH		
LF	LINEAR FOOT		
LFT	LEFT		
MAX	MAXIMUM		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
M.J.	MECHANICAL JOINT		

**2 ABBREVIATIONS**  
L-1.0

NAME:	EXISTING	NEW	EROSION CONTROL:	
			EXISTING	NEW
ASPHALT PAVEMENT			TEMP. CONST ENT.	
CABLE TV			TEMP. SILT FENCE	
CENTERLINE			TEMP. DIVERSION	
CURB & GUTTER			TEMP. INLET PROTECT.	
CONCRETE			TEMP. ROCK PIPE INLET PROTECTION	
CONTOUR MAJOR			RIPRAP DISSIPATOR	
CONTOUR MINOR			TEMP. SILT FENCE OUTLET	
EASEMENT			TEMP. SKIMMER BASIN WITH BAFFLES	
FENCE			FAIRCLOTH SKIMMER	
FIBER OPTIC			TEMP. SEDIMENT TRAP WITH BAFFLES	
FORCE MAIN			TEMP. SLOPE DRAIN	
GAS LINE			TREE PROTECTION	
GAS VALVE			ROLLED EROSION CONTROL MATTING	
GRAVEL			DEMOLITION LIMITS	
LIMITS OF DIST/CONST				
LIGHT POLE				
OVERHEAD ELECTRIC				
POWER POLE				
PROPERTY LINE				
PROPERTY LINE - ADJ				
RAILROAD				
RIGHT-OF-WAY (ROW)				
SANITARY SEWER LINE				
SANITARY SEWER MH				
SANITARY SEWER CO				
SPOT EL. GS				
SPOT EL. TOC				
SPOT EL. TOW				
STORM DRAIN LINE				
STORM DRAIN FES				
STORM DRAIN MH				
STORM DRAIN CI				
STORM DRAIN GI				
STORM DRAIN YI				
TELEPHONE LINE				
TELEPHONE PEDESTAL				
UNDERGROUND ELEC.				
UTILITY POLE				
WATER LINE				
WATER VALVE				
FIRE HYDRANT				
WATER METER				
WATER LINE BACKFLOW				
WATER LINE REDUCER				
IRON ROD/PIPE				
CONCRETE MONUMENT				
BENCHMARK				

**3 LEGEND**  
L-1.0

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GENERAL NOTES & LEGEND

Albert Johnson  
Memorial Park  
MT. GILEAD, NORTH CAROLINA

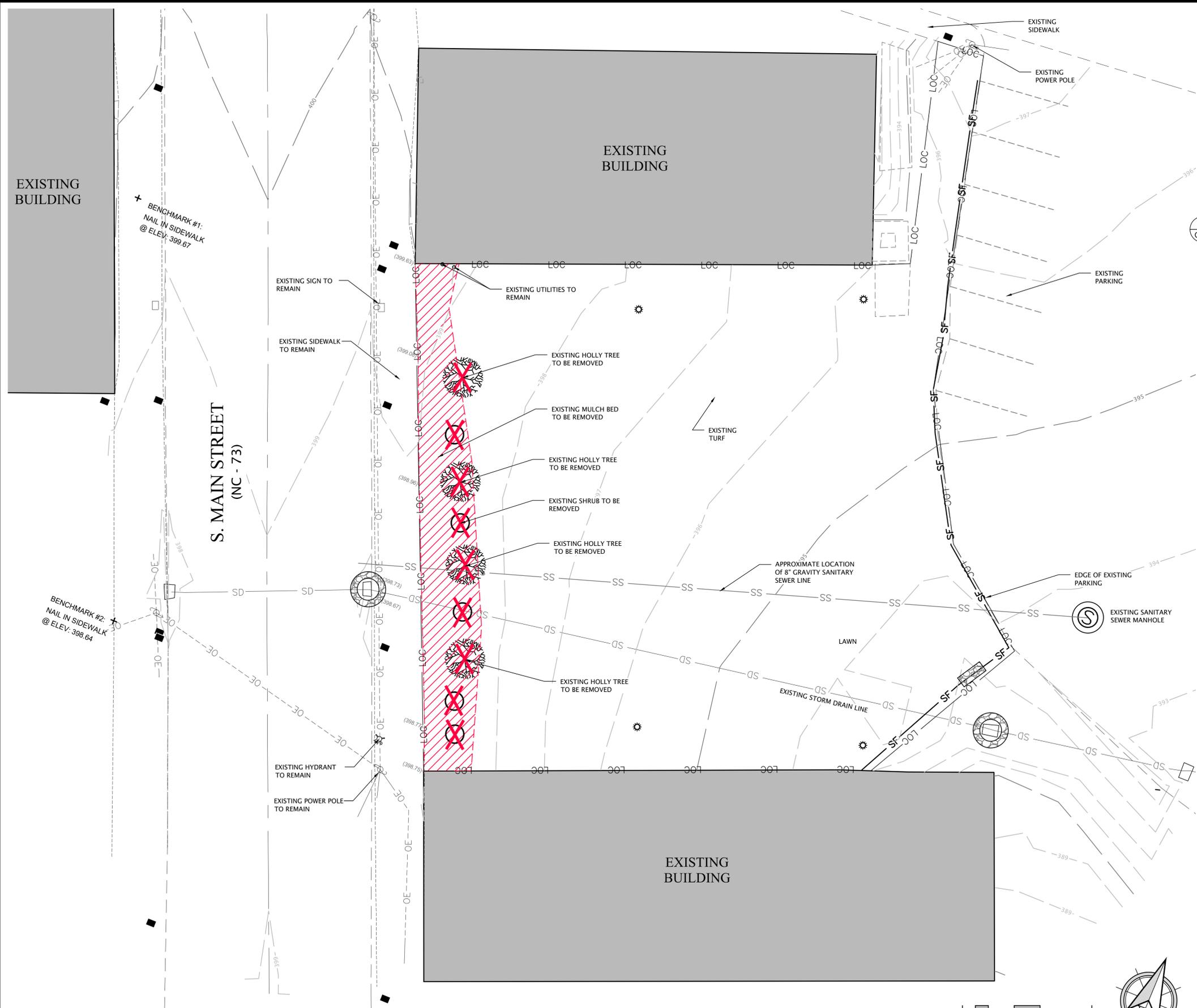
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1. ALL GENERAL NOTES, ABBREVIATIONS, SYMBOLS, AND OTHER INFORMATION INDICATED ON SHEET L-01 SHALL APPLY TO THIS PLAN.
2. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR WITH THE SURVEYOR OF RECORD PRIOR TO BEGINNING CONSTRUCTION.
3. THERE ARE EXISTING SURVEYED BENCHMARKS THAT HAVE BEEN LOCATED. THE FIRST BENCHMARK IS A NAIL IN EXISTING CONCRETE SIDEWALK, HAVING AN ELEVATION OF 399.67'. THE SECOND BENCHMARK IS A NAIL IN EDGE OF SIDEWALK, HAVING AN ELEVATION OF 398.64'.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF MT. GILEAD STANDARDS AND SPECIFICATIONS.
5. CONTRACTOR SHALL ENSURE THAT THE EXISTING UTILITIES ARE LOCATED AND MARKED PRIOR TO INSTALLATION OF NEW FEATURES AND UTILITIES.

2  
C-2.0 GENERAL EROSION CONTROL NOTES



1  
L-2.0 EXISTING CONDITIONS and DEMOLITION PLAN

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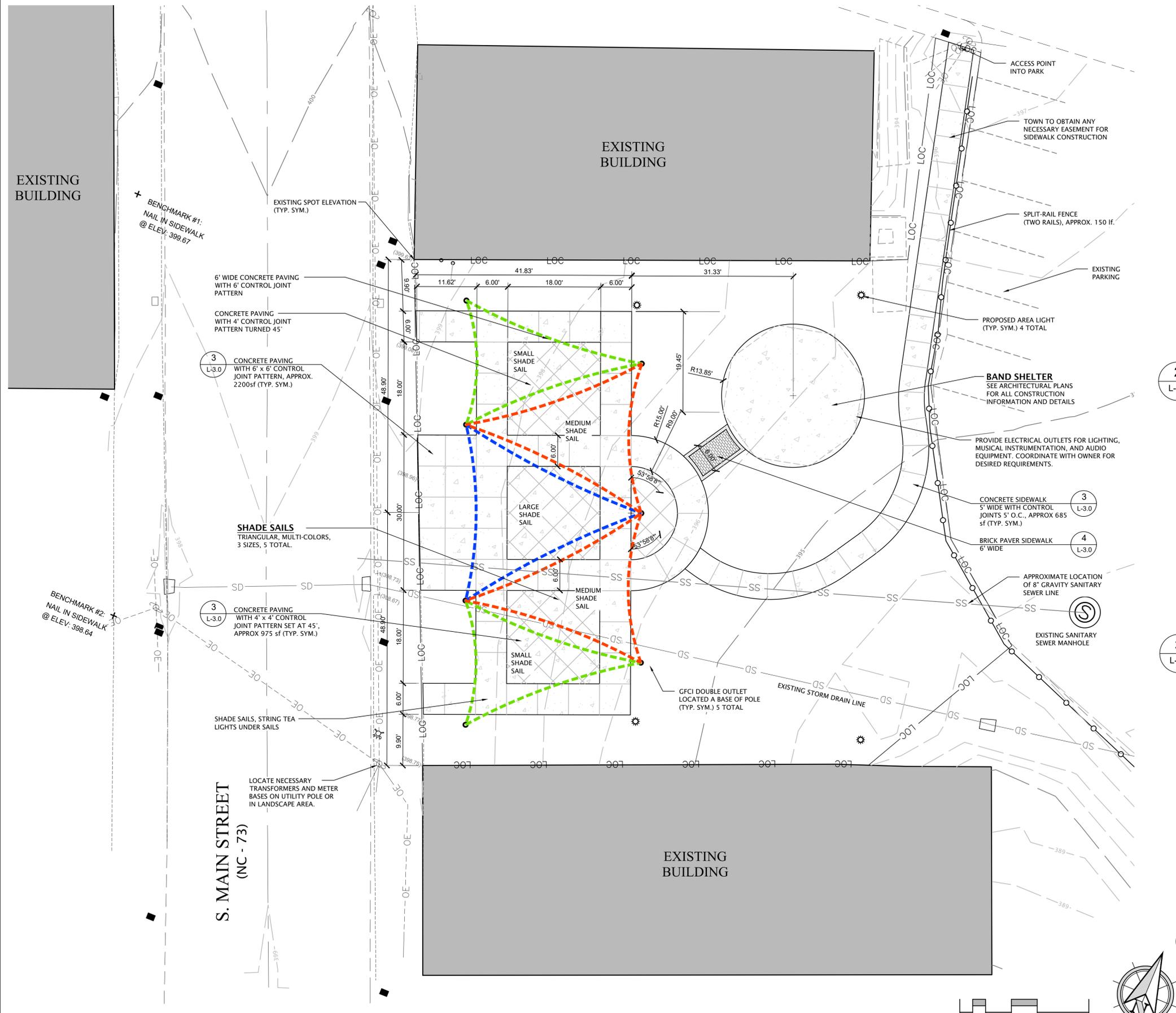


EXISTING CONDITIONS  
& DEMOLITION PLAN

Albert Johnson  
Memorial Park  
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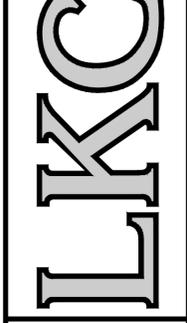


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SYM.	DESCRIPTION	DATE	BY

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- THERE ARE EXISTING SURVEYED BENCHMARKS THAT HAVE BEEN LOCATED. THE FIRST BENCHMARK IS A NAIL IN EXISTING CONCRETE SIDEWALK, HAVING AN ELEVATION OF 399.67. THE SECOND BENCHMARK IS A NAIL IN EDGE OF SIDEWALK, HAVING AN ELEVATION OF 399.64.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF MT. GILEAD STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL ENSURE THAT THE EXISTING UTILITIES ARE LOCATED AND MARKED PRIOR TO INSTALLATION OF NEW FEATURES AND UTILITIES.
- SEE STRUCTURAL ENGINEER'S DRAWINGS FOR ALL CONSTRUCTION REQUIREMENTS AND DETAILS FOR THE BAND SHELTER.
- SPLIT RAIL FENCE SHALL BE A TWO RAIL FENCE.
- BRICK PAVERS TO BE FROM PINEHALL ENGLISH EDGE, FULL RANGE RED SET IN RUNNING BOND PATTERN. PROVIDE BRICK PAVEMENT SAMPLE FOR COLOR APPROVAL BY OWNER. OBTAIN ENGRAVED DONOR BRICKS FROM TOWN AND INCORPORATE INTO THE BRICK PAVEMENT FIELD.
- TOWN TO COORDINATE WITH ADJACENT PROPERTY OWNER FOR ANY NECESSARY EASEMENT THAT MAY BE REQUIRED TO CONSTRUCT SIDEWALK CONNECTION TO EXISTING SIDEWALK ON E. ALLENTON ST.
- TOWN TO COORDINATE WITH DUKE ENERGY FOR LIGHT POLE STYLES AND HEIGHTS.
- ELECTRICAL CONTRACTOR TO COORDINATE WITH THE TOWN AND DUKE ENERGY TO PROVIDE WIRING SCHEMATICS FOR ALL PROPOSED ELECTRICAL FEATURES.
- SHADE SAILS TO BE FROM CAROLINA SHADE SAILS, LLC. OR EQUAL. THREE SIZES OF SAILS ARE REQUIRED (38x38x34, 38x36x29, & 36x36x24 POLE TO POLE DIMENSIONS). A TOTAL OF 5 SHADE SAILS SHALL BE PROVIDED (1 LARGE, 2 MEDIUM AND 2 SMALL) WITH 3 DIFFERENT ENTRY HEIGHTS (10' @ SMALL SAILS, 12' @ MEDIUM SAILS, AND 14' @ LARGE SAIL). ALL MATERIALS SHALL BE PROVIDED INCLUDING SAILS, POLES, CABLES, CONNECTORS, ETC. GENERAL CONTRACTOR TO COORDINATE WITH TOWN FOR DESIRED COLORS OF SAILS AND POSTS, AND COORDINATE WITH CAROLINA SHADE SAILS, LLC (OR EQUAL) FOR ALL DESIGN AND INSTALLATION REQUIREMENTS. THE DRAWING FILE (PDF AND/OR AUTOCAD) WILL BE MADE AVAILABLE TO THE GENERAL CONTRACTOR UPON REQUEST FOR COORDINATION WITH SHADE SAIL PROVIDER FOR MANUFACTURING OR DESIGN ALTERATIONS, AS NEEDED, TO MEET THE MANUFACTURER'S REQUIREMENTS.

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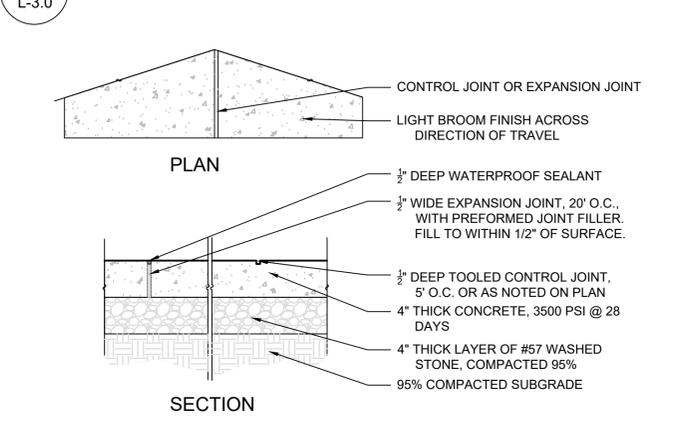
SITE PLAN

Albert Johnson  
 Memorial Park  
 MT. GILEAD, NORTH CAROLINA

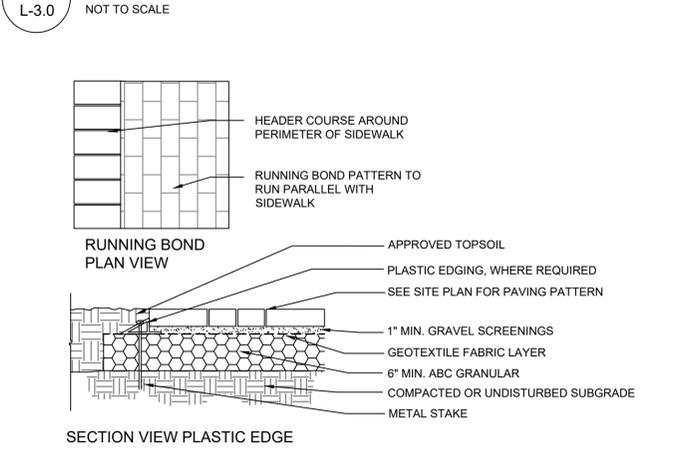
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2 SITE PLAN GENERAL NOTES



3 CONCRETE SIDEWALK DETAIL

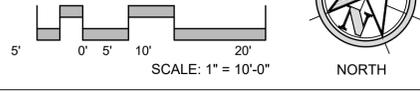


4 BRICK PAVER DETAIL



1 SITE PLAN

L-3.0



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- THERE ARE EXISTING SURVEYED BENCHMARKS THAT HAVE BEEN LOCATED. THE FIRST BENCHMARK IS A NAIL IN EXISTING CONCRETE SIDEWALK, HAVING AN ELEVATION OF 399.67'. THE SECOND BENCHMARK IS A NAIL IN EDGE OF SIDEWALK, HAVING AN ELEVATION OF 398.64'.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF MT. GILEAD STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL ENSURE THAT THE EXISTING UTILITIES ARE LOCATED AND MARKED PRIOR TO INSTALLATION OF NEW FEATURES AND UTILITIES.

## 2 GRADING GENERAL NOTES

- UNLESS OTHERWISE INDICATED, ALL VEGETATION AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE EROSION & SEDIMENT CONTROL PLANNING & DESIGN MANUAL & ACCORDING TO THE SPECIFICATIONS.
- ALL HARD SURFACE PUBLIC ROADS SHALL BE CLEAN AT THE END OF EACH WORK DAY. PROVIDE TEMPORARY CONSTRUCTION ENTRANCES AT THE LOCATIONS SHOWN ON THE PLANS OR AS OTHERWISE NECESSARY.
- THE LOCATION OF ALL EROSION AND SEDIMENT CONTROL MEASURES ARE APPROXIMATE. THESE DEVICES SHALL BE LOCATED TO ACHIEVE MAXIMUM BENEFIT. IF DURING CONSTRUCTION THESE DEVICES ARE NOT SUFFICIENT TO ADEQUATELY CONTROL EROSION AND SEDIMENTATION, ADDITIONAL EROSION CONTROL DEVICES SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AND DISPOSED OF WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION.
- CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO PREVENT SEDIMENT (GENERATED BY CONSTRUCTION OR EROSION) FROM ENTERING STREAMS. CONSTRUCTION VEHICLES WILL NOT BE ALLOWED IN FLOWING STREAM CHANNELS OR TO DAMAGE THEIR BANKS. TEMPORARY STREAM CROSSINGS SHALL BE INSTALLED IN ALL FLOWING STREAMS WHICH WILL HAVE CONSTRUCTION TRAFFIC CROSSING THEM.
- STOCKPILING OF EXCESS MATERIALS IN WETLAND AREAS IS NOT ALLOWED.
- IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED AFTER EACH RAINFALL OR WEEKLY, WHICHEVER IS MORE FREQUENT (AT LEAST DAILY DURING PERIODS OF PROLONGED RAINFALL). CONTRACTOR SHALL CLEAN AND REPAIR ACCORDINGLY.
- PURSUANT TO G.S. 113A-57(2), THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 7 OR 14 DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PURSUANT TO G.S. 113A-57(3), PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT. ALL SEEDED AREAS WILL BE FERTILIZED, RE-SEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATION COVER. IF ANY SEEDING FAILURE OCCURS, THOSE AREAS SHALL BE RE-SEEDED WITH RYE GRAIN FOR TEMPORARY STABILIZATION AND PREPARED FOR PERMANENT SEEDING.

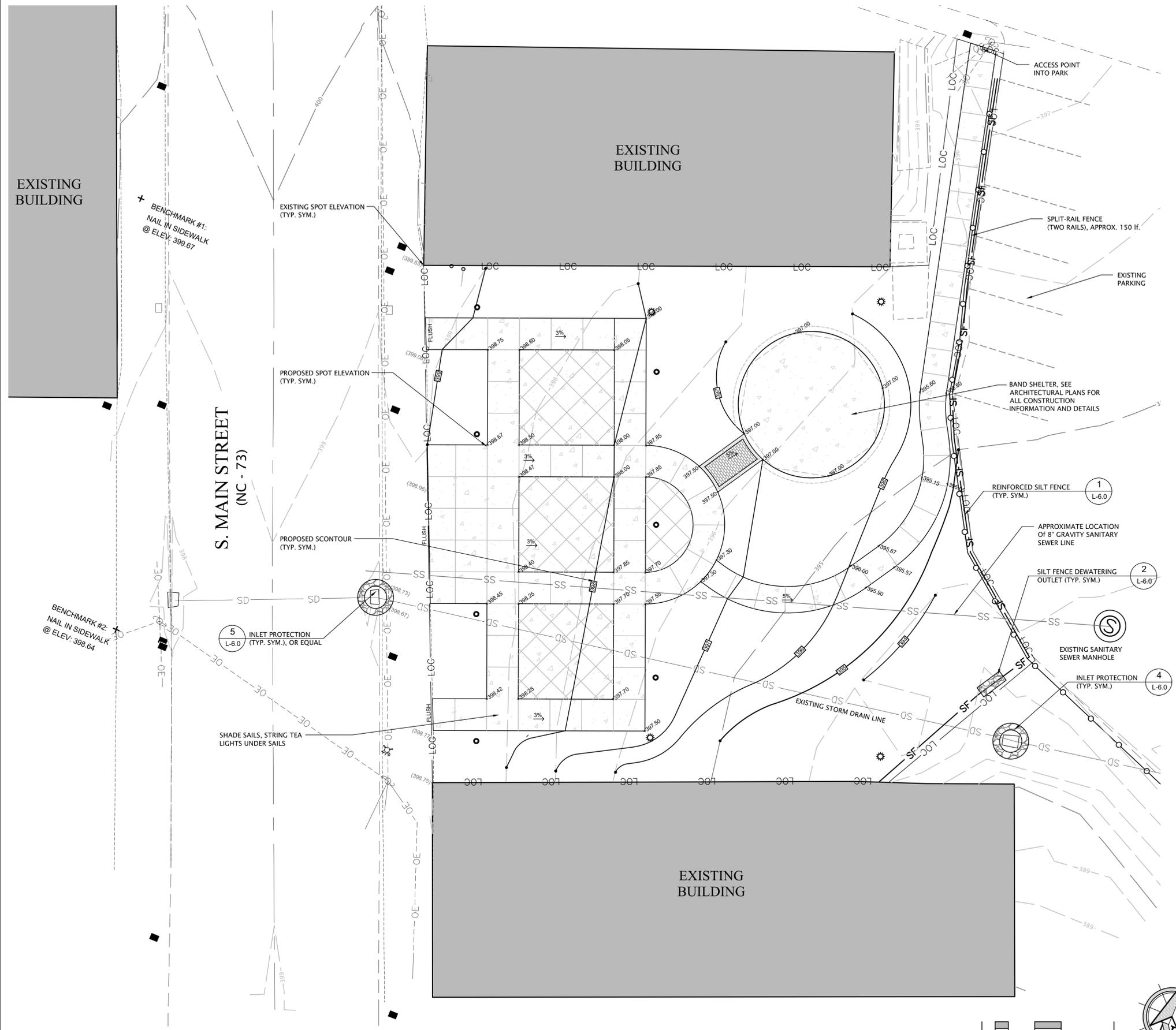
## 3 EROSION CONTROL GENERAL NOTES

DWQ CONSTRUCTION GENERAL PERMIT GROUND STABILIZATION REQUIREMENTS

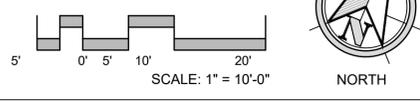
SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
Slopes 3:1 or flatter	14 days	7-days for slopes greater than 50 feet in length
All other areas with slopes flatter than 4:1	14 days	None (except for perimeters and HQW Zones)

\* "Extensions of time may be approved by the permitting authority based on weather or other site-specific condition that make compliance impracticable." (Section 11.B(2)(b))

## 4 GROUND STABILIZATION NOTES



## 1 GRADING AND EROSION PLAN



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CONCEPTUAL SITE PLAN

Albert Johnson  
Memorial Park  
MT. GILEAD, NORTH CAROLINA

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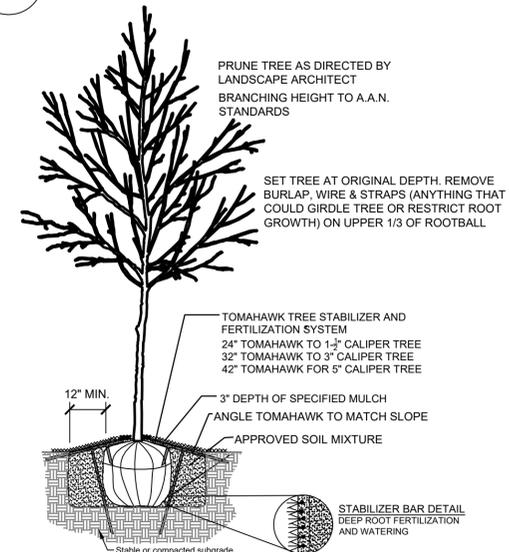
REVISIONS			
SYM.	DESCRIPTION	DATE	BY

PLANT SCHEDULE			
QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>			
14	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2" CAL., 10'-12' HT. MIN.
22	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	2" CAL., 10'-12' HT.
<b>SMALL TREES</b>			
22	ILEX x FOSTERII	FOSTER HOLLY	6'-7' HT.
<b>ORNAMENTAL SHRUBS / GROUNDCOVERS</b>			
30	ABELIA GRANDIFLORA 'KALIEDOSCOPE'	KALIEDOSCOPE ABELIA	18"-24" HT.
17	ILEX CRENATA 'COMPACTA'	COMPACTA HOLLY	18"-24" HT.
127	LOROPETALUM CHINENSIS 'CERISE CHARM'	CERISE CHARM LOROPETALUM	15"-18" HT.
224	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	15"-18" HT.

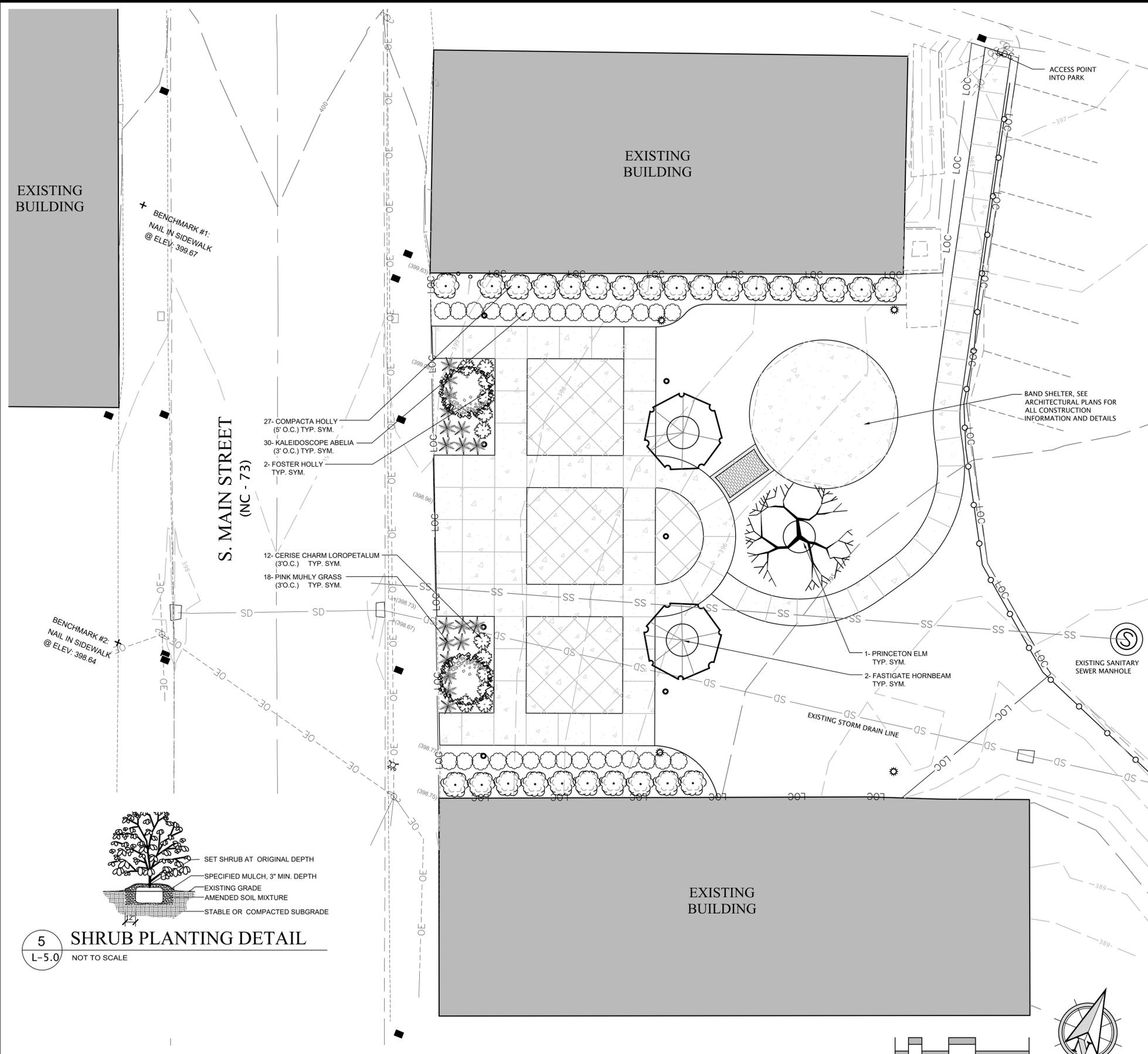
**2 PLANT SCHEDULE**  
L-5.0

- THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH COMPETENT RELIABLE SOURCES TO ENSURE THAT AN ADEQUATE SUPPLY OF THE REQUIRED PLANT MATERIAL IS AVAILABLE. THIS SHALL BE COMPLETED A MINIMUM OF THREE MONTHS PRIOR TO PLANTING TIME TO ALLOW FOR PLANT COLLECTIONS, STORAGE, AND PREPARATION. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL IN THE APPROPRIATE SEASON FOR EACH PLANT TYPE.
- ALL PLANT MATERIAL RECEIVED FROM COMMERCIAL NURSERIES SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, EXCEPT WHERE OTHERWISE SPECIFIED.
- ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE UNIFORMLY BRANCHED AND HAVE A VIGOROUS ROOT SYSTEM. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS AND FREE FROM DEFECTS, DECAY, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT PEST EGGS, AND ALL FORMS OF INFESTATIONS. ALL PLANT MATERIAL SHALL BE FRESH, FREE FROM TRANSPLANT SHOCK OR VISIBLE WILT. UNHEALTHY STOCK IS UNACCEPTABLE. PLANTS FROM COLD STORAGE ARE UNACCEPTABLE.
- PLANT MATERIAL SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE UPON ARRIVAL AT THE PROJECT SITE. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT OR ACCEPT ANY PLANT MATERIAL FOLLOWING FINAL INSPECTION.
- THE FINAL LOCATION AND ORIENTATION OF ALL PLANT MATERIAL AS WELL AS THE LOCATION OF ALL PLANTING ZONES WILL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE. CONTRACTOR MAY BE RESPONSIBLE FOR REPLANTING ANY PLANT MATERIAL INSTALLED WITHOUT APPROVAL BY THE OWNER'S REPRESENTATIVE.
- THE OWNER'S REPRESENTATIVE SHALL HAVE FINAL APPROVAL FOR THE SELECTION OF SPECIES SUBSTITUTIONS USED IN PLANTINGS. ALL REQUESTS FOR SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- OSMOCOTE, NUTRICOTE, OR OTHER CONTROLLED RELEASE COMMERCIAL GRADE GRANULAR FREE FLOWING (18-6-12) FERTILIZER SHALL BE APPLIED IN EACH PLANTING HOLE ACCORDING TO MANUFACTURER'S LABEL OR OTHER SPECIFICATIONS. THE SELECTION OF FERTILIZER AND ALL APPLICATION SPECIFICATIONS SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE REQUIRED TO GUARANTEE AND MAINTAIN ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE OF FINISHED PLANTING IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE SPECIAL PROVISIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS AS A RESULT OF ITS WORK PERFORMED DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING ALL PLANT QUANTITIES FOR BIDDING PURPOSES.
- PLANT LOCATIONS ARE APPROXIMATE. FIELD STAKING SHOULD BE DONE TO AVOID UNDERGROUND UTILITIES.
- PROVIDE CONTINUOUS PINE STRAW MULCH (3" THICK) IN ALL SHRUB AND TREE AREAS AND AT THE BASE OF SPECIMEN TREES IN A 6' MINIMUM DIAMETER.
- SIZES OF PLANT MATERIAL IN PLANT SCHEDULE ARE TO BE CONSIDERED MINIMUMS.
- ALL UTILITIES SHALL BE LOCATED AND MARKED IN FIELD PRIOR TO INSTALLATION OF PLANTS. NO PLANTS SHALL BE LOCATED ABOVE UTILITIES OR WITHIN EASEMENTS UNLESS SHOWN OTHERWISE.
- DURING THE INSTALLATION OF NEW TREES, THE LANDSCAPE CONTRACTOR MUST MAINTAIN A MINIMUM DISTANCE OF 10' SEPARATION BETWEEN NEWLY PLANTED TREES AND LIGHT POLE BASES.

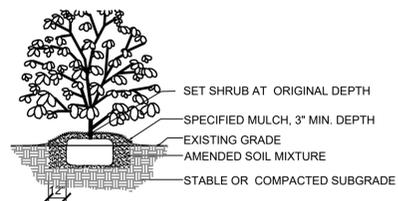
**3 PLANTING GENERAL NOTES**  
L-5.0



**4 TREE PLANTING DETAIL**  
L-5.0 NOT TO SCALE



**5 SHRUB PLANTING DETAIL**  
L-5.0 NOT TO SCALE



**1 PLANTING PLAN**  
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PLANTING PLAN

Albert Johnson  
Memorial Park

MT. GILEAD, NORTH CAROLINA

DATE 1-26-26

DESIGN

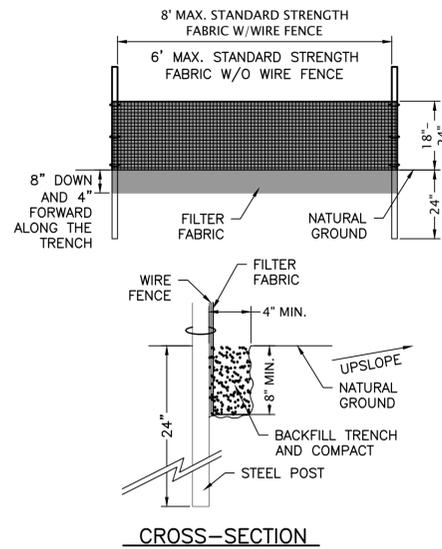
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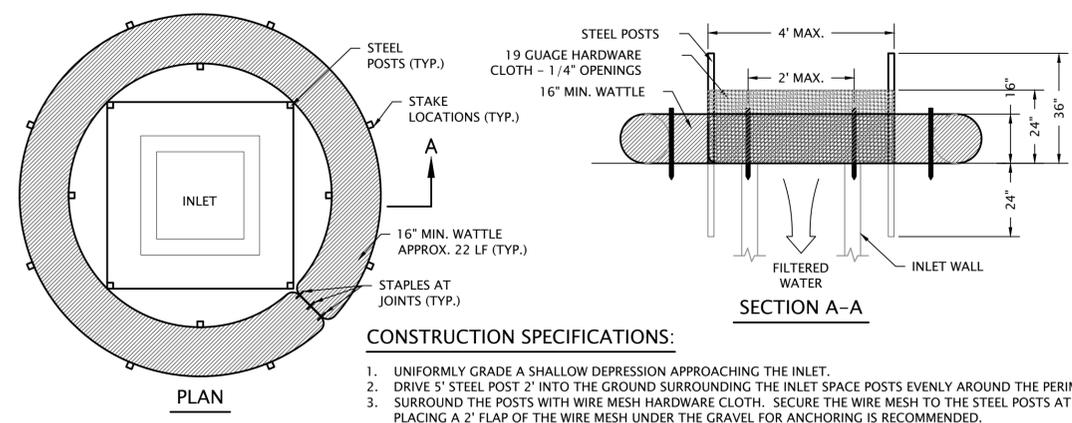


**CONSTRUCTION SPECIFICATIONS:**

1. CONSTRUCT THE SEDIMENT BARRIER OF STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS.
2. ENSURE THAT THE HEIGHT OF THE SEDIMENT FENCE DOES NOT EXCEED 24 INCHES ABOVE THE GROUND SURFACE. (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).
3. CONSTRUCT THE FILTER FABRIC FROM CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FILTER CLOTH ONLY AT SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST.
4. SUPPORT STANDARD STRENGTH FILTER FABRIC BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS. EXTEND THE WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH. FASTEN THE WIRE REINFORCEMENT, THE FABRIC ON THE UPSLOPE SIDE OF THE FENCE POST. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 POUND TENSILE STRENGTH.
5. WHEN A WIRE MESH SUPPORT FENCE IS USED, SPACE POSTS A MAXIMUM OF 8 FEET APART. SUPPORT POSTS SHOULD BE DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24 INCHES.
6. EXTRA STRENGTH FILTER FABRIC WITH 6 FEET POST SPACING DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. SECURELY FASTEN THE FILTER FABRIC DIRECTLY TO POSTS. WIRE OR PLASTIC ZIP TIES SHOULD HAVE A MINIMUM 50 POUND TENSILE STRENGTH.
7. EXCAVATE A TRENCH APPROXIMATELY 4 INCHES WIDE AND 8 INCHES DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER (FIGURE 6.62A, NORTH CAROLINA EROSION AND SEDIMENTATION CONTROL DESIGN MANUAL)
8. PLACE 12 INCHES OF THE FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
9. BACKFILL THE TRENCH WITH SOIL PLACED OVER THE FILTER FABRIC AND COMPACT. THOROUGH COMPACTION OF THE BACKFILL IS CRITICAL TO SILT FENCE PERFORMANCE.

**MAINTENANCE:**

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



**CONSTRUCTION SPECIFICATIONS:**

1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
2. DRIVE 5" STEEL POST 2" INTO THE GROUND SURROUNDING THE INLET SPACE POSTS EVENLY AROUND THE PERIMETER ON THE INLET, MAX. 4' APART.
3. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE AND BOTTOM. PLACING A 2" FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
4. USE A MINIMUM 16" DIAMETER WATTLE WITH A LENGTH TO SURROUND WIRE MESH HARDWARE CLOTH FITTING SNUG AGAINST THE GROUND.
5. USE 2" X 2" X 30" LONG WOODEN STAKES.
6. EXCAVATE A 1" TO 2" TRENCH FOR WATTLE TO BE PLACED.
7. INSTALL A MINIMUM OF 2 UPSLOPE STAKES AT AN ANGLE TO WEDGE THE WATTLE TO THE GROUND AND UP AGAINST THE HARDWARE CLOTH.
8. PROVIDE STAPLES MADE OF 0.125" DIAMETER STEEL WIRE FORMED INTO A "U" SHAPE AND NOT LESS THAN 12" LENGTH.
9. INSTALL STAPLES APPROXIMATELY EVERY 12" ON BOTH SIDES OF WATTLE AND AT EACH END TO SECURE IT TO THE SOIL.
10. WATTLE INSTALLATION SHALL BE ON THE OUTSIDE OF THE HARDWARE CLOTH.
11. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
12. COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GROUND COVER.

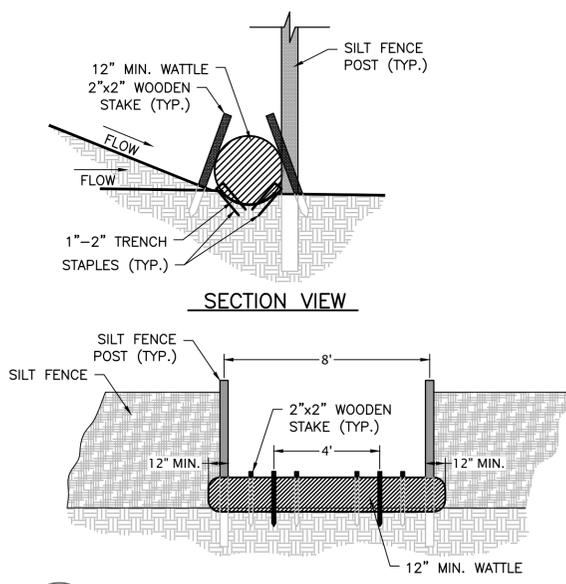
**NOTE:**  
INLET POSTS TO REMAIN OFF INLET STRUCTURES WHILE INLET PROTECTION IS IN PLACE.

**MAINTENANCE:**

INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2" OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE WATTLE AS NEEDED.

**1 TEMPORARY SILT FENCE DETAIL**

L-6.0 NOT TO SCALE



**CONSTRUCTION SPECIFICATIONS:**

1. USE A MINIMUM 12" DIAMETER WATTLE WITH A MINIMUM LENGTH OF 10 FT.
2. USE 2" X 2" X 2 FT. LONG WOODEN STAKES.
3. EXCAVATE A 1" TO 2" TRENCH FOR WATTLE TO BE PLACED.
4. INSTALL A MINIMUM OF 2 UPSLOPE AND 4 DOWNSLOPE STAKES AT AN ANGLE TO WEDGE THE WATTLE TO THE GROUND.
5. PROVIDE STAPLES MADE OF 0.125" DIAMETER STEEL WIRE FORMED INTO A "U" SHAPE AND NOT LESS THAN 12" LENGTH.
6. INSTALL STAPLES APPROXIMATELY EVERY 12" ON BOTH SIDES OF WATTLE AND AT EACH END TO SECURE IT TO THE SOIL.
7. WATTLE INSTALLATION CAN BE ON OUTSIDE OF THE SILT FENCE AS DIRECTED.
8. INSTALL TEMPORARY SEDIMENT FENCE IN ACCORDANCE WITH NCDENR REGULATIONS.
9. OUTLETS TO BE PLACED AS SHOWN ON PLANS ALONG SILT FENCE.

**MAINTENANCE:**

1. INSPECT OUTLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2" OR GREATER) RAINFALL EVENT.
2. CLEAR THE OUTLET OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS.
3. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE OUTLET DURING SEDIMENT REMOVAL.
4. REPLACE WATTLE AS NEEDED.

**2 TEMPORARY STRAW WATTLE OUTLET AT SILT FENCE DETAIL**

L-6.0 NOT TO SCALE

TEMPORARY SUMMER SEED MIX		
(TO BE FOLLOWED BY PERMANENT FALL SEED MIX)		
DATES	SPECIES	RATE: LB/ACRE
MAR 1 - SEP 1	GERMAN MILLET	120
TEMPORARY WINTER SEED MIX		
(TO BE FOLLOWED BY PERMANENT FALL SEED MIX)		
DATES	SPECIES	RATE: LB/ACRE
SEP 1 - MAR 1	WINTER RYE (GRAIN)	200
	KOBE LESPEDEZA	120
PERMANENT SPRING SEED MIX		
DATES	SPECIES	RATE: LB/ACRE
MAR 1 - JUL 1	PENSICOLA BAHIAGRASS	60
	COMMON BERMUDA	25
	SERICAESA LESPEDEZA	30
PERMANENT FALL SEED MIX		
DATES	SPECIES	RATE: LB/ACRE
SEP 1 - NOV 1	COMMON BERMUDA	30
	SERICAESA LESPEDEZA	30
	KOBE LESPEDEZA	10

**SOIL AMENDMENTS:**

1. TO BE INCORPORATED INTO THE TOP 3 INCHES OF SOIL IN AREAS WITH SLOPES 2:1 OR FLATTER
  - APPLY FERTILIZER (10-10-10) AT A RATE OF 1000 LB/ACRE
  - APPLY LIME (GROUND AGRICULTURAL LIMESTONE) AT A RATE OF 4000 LB/ACRE \*
  - APPLY SUPERPHOSPHATE (0-49-0) AT A RATE OF 200 LB/ACRE \*
- \* REQUIRED FOR PERMANENT SEED MIX ONLY

**MULCH:**

APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER. ANCHOR MULCH WITH ROVING, NETTING OR BY TACKING WITH ASPHALT EMULSION AT A RATE OF 400 GAL./ACRE

**WATER:**

MINIMUM OF 1" OF RAINFALL A WEEK (IF NOT SUPPLIED NATURALLY, CONTRACTOR SHALL SUPPLY THE REMAINING AMOUNT UNTIL GROUND COVER HAS BEEN ESTABLISHED).

**MAINTENANCE:**

REFERTILIZE IN THE SECOND YEAR UNLESS THE GROWTH IS FULLY ADEQUATE. MOW WHEN THE AVERAGE PLANT HEIGHT EXCEEDS 6 INCHES. RESEED, FERTILIZE AND MULCH DAMAGED AREAS IMMEDIATELY.

**NOTES:**

1. TEMPORARY SEED MIX SHALL BE USED FOR ALL AREAS EXPOSED GREATER THAN 15 WORKING DAYS AND SUBJECT TO FURTHER DISTURBANCE. PERMANENT SEED MIX SHALL BE CHECKED FOR ADEQUACY ON JULY 15. AN ADEQUATE COVER SHALL HAVE 50 SPRIGS OF BERMUDA OR SERICEA LESPEDEZA PER ONE SQUARE FOOT.

**3 SEEDING SCHEDULE**

L-6.0

**4 TEMPORARY INLET PROTECTION DETAIL**

L-6.0 NOT TO SCALE

**INSTALLATION SPECIFICATION**  
INLET PROTECTION - Compost Filter Sock

**INSTALLATION**

1. Inlet protection (Filtrexx SiltSox®/Sox) shall be placed at locations indicated on plans as directed by the Engineer. Inlet protection should be installed in a pattern that allows complete protection of the inlet area.
2. Installation of curb inlet protection will ensure a minimal overlap of at least 1 ft (300mm) on either side of the opening being protected. Inlet protection will be anchored to the soil behind the curb using staples, stakes or other devices capable of holding the inlet protection in place.
3. Standard inlet protection for curb inlet protection and curb sediment containment will use 8 in (200mm) diameter inlet protection, and drain inlets on soil will use 12 in (300mm) or 18 in (450mm) diameter inlet protection. In severe flow situations, larger inlet protection may be specified by the Engineer. During curb installation, inlet protection shall be compacted to be slightly shorter than curb height.
4. If inlet protection becomes clogged with debris and sediment, they shall be maintained so as to assure proper drainage and water flow into the storm drain. In severe storm events, overflow of the inlet protection may be acceptable in order to keep the area from flooding.
5. Curb and drain inlet protection shall be positioned so as to provide a permeable physical barrier to the drain itself, allowing sediment to collect on the outside of the inlet protection.
6. For drains and inlets that have only curb cuts, without street grates, a spacer is required in order to keep the inlet protection

**MAINTENANCE & DISPOSAL**

1. The Contractor shall remove sediment at the base of the upslope side of the inlet protection when accumulation has reached 1/2 of the effective height of the inlet protection, or as directed by the Engineer. Alternatively, for drain inlet protection, a new Sox may be placed on top of the original increasing the sediment storage capacity without soil disturbance.
2. Inlet protection shall be maintained until disturbed area above or around the device has been permanently stabilized and construction activity has ceased. Regular maintenance includes lifting the inlet protection and cleaning around and under them as sediment collects.
3. The FilterMedia will be removed from paved areas or dispersed on site soil or behind curb once disturbed area has been permanently stabilized, construction activity has ceased, or as determined by the Engineer.

DRAIN INLET PLAN

CURBSIDE OPTION "A" PLAN

CURBSIDE OPTION "B" PLAN

DRAIN INLET SECTION

CURBSIDE SECTION

**NOTES:**

1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
2. ALL MEDIA SHALL MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

**FILTREXX® INLET PROTECTION**  
NTS

Refer to Design Specification for complete application, design, installation, maintenance, and removal documentation.

filtrexx.com | 877.542.7699 | info@filtrexx.com

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**5 TEMPORARY CURB INLET PROTECTION DETAIL (OR EQUAL)**

L-6.0 NOT TO SCALE

LKC Engineering, pllc  
390 W. Pennsylvania Ave.  
Southern Pines, NC 28387  
O: 910.420.1437  
lkceengineering.com  
License No. P-11095

Engineering  
Landscape Architecture  
Surveying

**LKC**

CONCEPTUAL SITE  
PLAN  
Albert Johnson  
Memorial Park

MT. GILEAD, NORTH CAROLINA

DATE 1-26-26

DESIGN

DRAWN

CHECKED

NO.

L-6.0

## MEMORANDUM

**TO:** Town Board

**FROM:** Lee Ann Haithcock, Finance Officer

**DATE:** February 3, 2026 postponed; February 10, 2026

**RE:** Consent Agenda – Contract Amendment with WithersRavenel and Budget Amendment

### **BACKGROUND:**

The Town previously entered into a professional services agreement with WithersRavenel for engineering plan review services related to *The Retreat at Lake Tillery Phase 1*. The original contract amount authorized was **\$25,000**.

Due to expanded scope, increased complexity, and additional coordination and review efforts required to complete and close out the engineering plan review, WithersRavenel has submitted a contract amendment for additional services.

### **CONTRACT AMENDMENT DETAILS:**

- Original Contract Amount: \$25,000
- Contract Amendment: \$15,000
- **Revised Total Contract Amount: \$40,000**

The amendment authorizes additional project management and engineering plan review services necessary to complete the project. No schedule changes are proposed, and all other terms and conditions of the original agreement remain in effect.

### **BUDGET AMENDMENT:**

A budget amendment is required to appropriate the additional **\$15,000** necessary to fund the contract amendment and to maintain a balanced budget in accordance with the Local Government Budget and Fiscal Control Act. While this amendment appropriates fund balance for budgeting purposes at this time, actual year-end results may not require a reduction in fund balance if revenues exceed projections or expenditures are less than anticipated.

### **RECOMMENDED ACTION:**

Approve the contract amendment with WithersRavenel in the amount of **\$15,000**, increasing the total contract amount to **\$40,000**, and approve the associated budget amendment as presented.

The contract amendment has been pre-audited as required by statute and is attached for Board review.

# BA2026-01 “THE RETREAT” CONTRACT AMENDMENT

## AN AMENDMENT TO THE TOWN OF MOUNT GILEAD BUDGET ORDINANCE FOR FISCAL YEAR 2025-2026

WHEREAS, The Town of Mount Gilead has the authority pursuant to Article 15 of Chapter 159 of the North Carolina General Statutes; and

WHEREAS section 159-28 of the North Carolina General Statutes Specifically Requires Available Funds prior to incurring obligations.

NOW, THEREFORE, BE IT ORDAINED by the Board of Commissioners of the Town of Mount Gilead, that the following amendments be made to the annual budget ordinance for the fiscal year ending June 30, 2026.

Section 1: To amend the General Fund and the Water and Sewer Fund, the following appropriations are to be amended as follows:

DEPARTMENT	ACCOUNT #	AMOUNT	FROM	TO
STREETS	10-450-74	\$1,800	\$3,000	\$4,800
POLICE	10-550-74	\$1,800	\$1,500	\$3,300
FIRE	10-600-42	\$1,800	\$16,000	\$17,800
WATER	20-410-74	\$3,300	\$2,000	\$5,300
SEWER	20-415-74	\$3,300	\$15,000	\$18,300
WWTP	20-420-77	\$3,000	\$5,500	\$8,500

This will result in a net increase of \$15,000 in the overall budget.

Section 2: To amend the General Fund and the Water and Sewer Fund, the revenues to be amended are as follows:

REVENUE ACCOUNT	ACCOUNT #	AMOUNT	FROM	TO
APPROPRIATED FUND BALANCE-GEN	10-360-10	\$5,400	\$151,135	\$156,535
APPROPRIATED FUND BALANCE-W/S	20-320-10	\$9,600	\$25,000	\$34,600

Section 3: Reason – Due to expanded scope, increased complexity, and additional coordination and review efforts required to complete the engineering plan review, WithersRavenel has submitted a contract amendment for additional services.

Section 4: Copies of this budget amendment shall be furnished to the Clerk to the Governing Board and to the Budget Officer and Finance Officer for their direction and implementation.

Adopted this 10th day of February, 2026 by the Town of Mount Gilead Board of Commissioners.

_____	_____	_____
MAYOR	TOWN MANAGER	TOWN CLERK
BA2026-01 FINANCE OFFICER _____	DATE _____	BATCH _____

**TO:** Mayor and Members of the Town Board

**FROM:** Lee Ann Haithcock, Finance Officer

**DATE:** February 3, 2026 postponed; February 10, 2026

**SUBJECT:** Powell Bill Account Transfer to First Bank and Update of Authorized Signatories at Truist

## **MEMORANDUM**

The purpose of this memorandum is to request Board authorization for two related banking actions intended to complete the Town's ongoing transition of accounts and to standardize authorized signatories.

Beginning in May 2024, the Town initiated the transfer of most operating and reserve bank accounts from Truist Bank to First Bank in order to streamline banking operations, improve oversight, and consolidate financial services. As part of this process, the Powell Bill bank account is the remaining account held at Truist and should now be transferred to First Bank.

Upon Board approval, the Finance Office will close the Powell Bill bank account currently maintained at Truist Bank and open a new Powell Bill bank account with First Bank. All Powell Bill revenues and expenditures will continue to be accounted for in compliance with North Carolina General Statutes and North Carolina Department of Transportation Powell Bill requirements.

In addition, the Town maintains a Truist checking account used for daily cash deposits. For consistency and internal control purposes, the Finance Office recommends updating the signature card on this Truist account to reflect the same authorized signatories as other Town bank accounts.

The recommended authorized signatories for the Powell Bill account at First Bank and the daily deposit checking account at Truist are as follows:

- Mayor Sheldon Morley
- Town Manager Barrett Brown
- Finance Officer Lee Ann Haithcock

These actions do not change the purpose, restrictions, or accounting treatment of any Town funds and are administrative in nature to support standardized banking controls.

### **Recommended Action:**

Authorize the closure of the Powell Bill bank account at Truist Bank, authorize the opening of a new Powell Bill bank account at First Bank, and approve the updated authorized signatories for both the new Powell Bill account and the existing Truist daily deposit checking account as listed above.

**TOWN OF MOUNT GILEAD, NORTH CAROLINA**

**RESOLUTION AUTHORIZING BANK ACCOUNT ACTIONS AND DESIGNATING AUTHORIZED SIGNATORIES**

**WHEREAS**, the Town of Mount Gilead maintains various bank accounts for the receipt, deposit, and disbursement of Town funds; and

**WHEREAS**, beginning in May 2024, the Town initiated the transfer of most banking relationships from Truist Bank to First Bank in order to streamline banking operations, improve internal controls, and consolidate financial services; and

**WHEREAS**, the Town currently maintains a Powell Bill bank account at Truist Bank and desires to close that account and open a new Powell Bill bank account with First Bank; and

**WHEREAS**, the Town also maintains a Truist checking account used for daily cash deposits and desires to update the authorized signatories on that account to ensure consistency and proper internal controls; and

**WHEREAS**, North Carolina General Statutes authorize the governing board to designate official depositories and authorized signatories for Town bank accounts;

**NOW, THEREFORE, BE IT RESOLVED** by the Town Board of the Town of Mount Gilead, North Carolina, as follows:

**1. Closure of Powell Bill Account at Truist**

The Town Board hereby authorizes the closure of the Town’s Powell Bill bank account currently maintained at Truist Bank, following the transfer of any remaining balances in accordance with applicable laws and policies.

**2. Opening of Powell Bill Account at First Bank**

The Town Board hereby authorizes the opening of a new Powell Bill bank account with First Bank for the purpose of receiving and disbursing Powell Bill funds in compliance with all applicable statutory requirements.

**3. Designation of Authorized Signatories**

The following officials are hereby designated as authorized signatories on the Powell Bill bank account at First Bank and on the Truist checking account used for daily cash deposits, with authority to execute all necessary banking documents related to these accounts:

- Mayor Sheldon Morley
- Town Manager Barrett Brown
- Finance Officer Lee Ann Haithcock

**4. Authority to Execute Documents**

The Mayor, Town Manager, and Finance Officer are each individually authorized to execute

signature cards, account agreements, and any other documents required by Truist Bank and First Bank to carry out the intent of this resolution.

**5. Administrative Nature of Action**

These actions are administrative in nature and do not alter the legal restrictions, accounting treatment, or intended use of any Town funds.

**ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 2026.**

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**TOWN OF MOUNT GILEAD, NORTH CAROLINA**

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Mayor Sheldon Morley

ATTEST:

---

Town Clerk

(SEAL)

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## TOWN OF MOUNT GILEAD Garden

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### ❖ January Garden Update ❖

January is our “quiet work” season in the garden, and we’ve been using it wisely. We’ve been going through inventory and taking stock of what we have on hand, what we’re running low on, and what we need to restock before the real spring rush hits. It’s the behind-the-scenes kind of work that makes everything run smoother once planting season kicks into gear.

We also caught one of those rare warm stretches and squeezed in a much-needed weeding session. It felt so good to get hands in the soil again, even if it was just for a little while.

Now we’re keeping an eye on the forecast and looking forward to warmer weather returning, longer days, and getting back into a more regular garden rhythm. Spring will be here before we know it, and we’re getting ready. 🌱☀️

# Town Manager Report

*Board of Commissioners Meeting – February 2026*

1. **Budget Retreat:** an annual meeting where the Board of Commissioners discusses and analyzes the proposed budget for the fiscal year. The proposed budget for 2026-2027 will be presented to the board and public for inspection.

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2. **New Hire:** Public Works has filled the permanent full-time position of Maintenance Worker II subject a 6-month probationary person. William Nall with a proposed start date of 2/2/26.

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3. **Winter Storm Preparedness:** The pumps station generators were fueled. Chain saws were fueled. The town vehicles were fueled and assigned for on call duty. Public Works salted the following areas: Fire Station, EMS station, Police Department, Post Office, Town Hall and Public Works. The park was closed and will remain closed through weather events this weekend. The county warming station is at Page Street Elementary in Troy. The chair of Montgomery County Commissioners declared a state of emergency. The Mayor of Mount Gilead requested inclusion in the emergency status. If necessary, the fire department was prepared to coordinate with the county and public safety to open as an emergency shelter. Ms. Jackson made every attempt to contact residents to restore interrupted service prior to the storm.

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## 4. Burning Ordinance CHAPTER 50: GARBAGE AND REFUSE Section

50.01 Definitions

50.02 Depositing or accumulating garbage or refuse on property prohibited

50.03 Burning or burying garbage or refuse

50.04 Container requirements

50.05 Pre-collection practices

50.06 Placement of containers on collection days

50.07 Interference with containers prohibited

50.08 Collection of yard waste

50.09 Removal of dead animals

§ 50.01 DEFINITIONS.

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

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## 5. New Town Hall

### **Town Hall Project Updates**

- Bid solicitation is underway for interior and exterior updates to the New Town Hall.
  - Staff are reviewing pricing options for **new building signage**.
  - Staff are working to expand the **camera system** to cover all exterior points of the new facility
- 

## 6. Dog Leash Ordinance CHAPTER 91: ANIMALS Section General. Provisions

91.01 Keeping livestock and poultry

91.02 Cruelty to animals

Dogs

91.15 Definitions

91.16 Dogs as nuisances

91.17 Notice; abatement; impoundment

91.18 Rabies control

Wild and Dangerous Animals

**7. 2023 Sanitary Sewer Improvements** – Project Summary School Street, Ingram and Sunrise section is nearing completion to 90%. Lift station #6 is about 65% complete with electrical to be completed. Completion and testing should be completed by the end of February. The road will be milled and overlaid when the asphalt plant resumes work. Based on wet rehab funds there will be enough to make improvements to the lift station #6

**Wastewater Treatment Plant** – Completely fenced in and secure for the first time

---

## 8. Albert Johnson “Pocket” Park

- Electrical outlet wants/needs
  - Temporary/permanent lighting fixtures
  - ADA Compliance
    - This might be better suited for the Town’s attorney
  - At the last meeting, a historic mural was mentioned. I’ve not been able to find a picture of it, so I would like to learn more.
- 

## 9. Community Resources & Engagement

This month included several engagement and assessment activities:

- Attended the Chi Sigma Event
  - I attended MLK Breakfast.
  - Attended Mount Gilead Fire Department Banquet
  - Leadership Montgomery Day for February is Government Day which is scheduled for February 12, 2026. We will be visiting Montgomery County Government offices and other municipalities to provide information to the participants about the different governing entities in Montgomery County.
  - Highland Black History Month Program is 2/28
- 

### A. NC Mayors Association – Winter Membership Meeting

(From “NC Mayors Association Membership Meeting” email)

An additional professional development opportunity exists for the mayor:

- **Winter Membership Meeting**  
**February 11–12, 2026 – Pinehurst**  
Includes networking, municipal leadership education, and statewide best-practice sessions. Scholarships are available for new or qualifying mayors (deadline: **December 18, 2025**).

## 10. The Retreat at Lake Tillery – letter from the Withers Ravenel Project Manager

Dear Town of Mount Gilead,

We have reviewed the submitted documentation, plans, and related materials, and based on our assessment, we confirm that they generally confirm with the applicable standards and specifications. This confirmation is based on the information provided and our current understanding of the requirements. It does not relieve the responsible parties from full compliance with contractual obligations, codes, or regulations, nor does it constitute acceptance of work beyond the scope of the reviewed documentation.

Conditions of Approval:

- The Retreat at Lake Tillery Phase 1 Lift Station Civil Construction Documents remain subject to Town of Mount Gilead and NCDEQ approval. The first 275 lots may be served by the existing lift station. Additional lots, up to 435 total, will require the proposed lift station to be approved, constructed, and accepted for service before any building permits, utility connections, or occupancy for those lots is authorized.
- Public utility construction (water and sewer) may not begin until all required state permits have been issued.

Please find the full set of project plans and supporting documents at the link provided below. For convenience, I have attached the plan set cover sheet with the approval stamp for your signature. Please proceed accordingly, with the understanding that any subsequent changes or deviations from the approved documentation may require further review and approval. Should you have any questions or require clarifications, please contact us.

<https://ftp2.withersravenel.com/TheRetreatatLakeTillery/Ph 1 Approved Plans/>

Your username is: TownofMountGilead

Your password is: LakeTillery

Sincerely,



**Will Scott, PE**

SENIOR PROJECT MANAGER



t: 919.469.3340

d: 980.800.6160

Charlotte, NC

WITHERSRAVENEL.COM

## CHAPTER 50: GARBAGE AND REFUSE

### Section

50.01 Definitions

50.02 Depositing or accumulating garbage or refuse on property prohibited

50.03 Burning or burying garbage or refuse

50.04 Container requirements

50.05 Pre-collection practices

50.06 Placement of containers on collection days

50.07 Interference with containers prohibited

5.08 Collection of yard waste

50.09 Removal of dead animals

### § 50.01 DEFINITIONS.

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

**BUILDING MATERIAL SCRAPS.** Scrap building material from the construction, reconstruction, remodeling or repair of a building, walkway, driveway, sign, or other structure, including but not limited to, excavated earth, tree stumps, rocks, gravel, bricks, plaster, concrete, lumber, or any other similar material used in construction or the containers or wrappings therefore.

**GARBAGE.** All putrescible wastes, including animal and vegetable matter, animal offal, and carcasses, and recognizable industrial byproducts but excluding sewage and human wastes.

**REFUSE.** All nonputrescible wastes.

**SOLID WASTE.** Garbage, refuse, rubbish, trash, and other discarded solid materials, including waste materials resulting from homes, businesses, industrial, commercial, and agricultural operations, and from community activities, but does not include solids or dissolved materials in domestic sewage or other significant pollutants in water resources, such as silt, dissolved or suspended solids in industrial wastewater effluents, dissolved materials in irrigation return flows, or other common water pollutants.

**YARD WASTE.** Tree limbs, leaves, shrubbery, weeds, plants, or grass.

## **§ 50.02 DEPOSITING OR ACCUMULATING GARBAGE OR REFUSE ON PROPERTY PROIBDITED.**

(A) It shall be unlawful for any person to throw, place, or deposit any garbage or refuse of any kind on any public or private property unless in approved containers or as otherwise provided in this chapter. The only approved containers are the carts provided by the town's solid waste contractor or the trash cans provided by the town.

(B) All garbage and refuse shall be collected and placed in containers as required by this chapter and it shall be unlawful for any person to permit garbage or refuse to accumulate or remain on any premises longer than is reasonably necessary to remove and deposit same in approved containers as required herein. Penalty, see§ 10.99

### ***Cross-reference:***

*Littering, see § 130.02*

*Maintenance of public areas, see§ 95.06*

## **§ 50.03 BURNING OR BURYING GARBAGE OR REFUSE.**

It shall be unlawful to burn or set fire to or bury any garbage for the purpose of disposal. In addition, it shall be unlawful to bury any refuse for the purpose of disposal unless a permit therefore has been granted by the proper town official.

Penalty, see§ 10.99

### ***Cross-reference:***

*Fire prevention, see Ch. 93*

## **§ 50.04 CONTAINER REQUIREMENTS.**

The occupant of every building or premises where garbage and refuse does or may accumulate is required to have a container for such garbage and refuse to be deposited in. The only approved containers are those provided by. the town's solid waste contractor or for commercial and industrial buildings a private waste hauler. No other containers are acceptable.

Penalty, see § 10,99

## **§ 50.05 PRE-COLLECTION PRACTICES.**

All garbage and refuse shall have the liquid drained therefrom and shall be wrapped in paper or other like material before it is placed in the container for collection. Ashes and cinders shall not be placed in the container for collection until they are cold. Ashes and cinders should be placed in a plastic garbage bag before being placed in the container for collection.

Penalty, see§ 10,99

## **§ 50.06 PLACEMENT OF CONTAINERS ON COLLECTION DAYS.**

(A) Containers shall not be placed adjacent to the street or sidewalk except on the days when garbage is to be collected. A schedule of collection shall be kept on file at the Town Manager's office. When collection schedules are altered from time to time, notice of such change shall be given by publishing the new schedule in the Montgomery Herald. Garbage containers shall be removed from their positions adjacent to the street or sidewalk after the contents have been emptied on that same day.

(B) It is declared unlawful for any person, firm, or corporation operating a business in town to place garbage of any kind into the area at the rear of such business establishment, except in a suitable container provided by the town's solid waste contractor or a private holder. Such waste or garbage shall be placed therein for the purpose of being removed by the town solid waste contractor or a private hauler. Penalty, see § 10.99

#### **§ 50.07 INTERFERENCE WITH CONTAINERS PROHIBITED.**

It shall be unlawful for any person to damage, displace, or to otherwise interfere with garbage containers except the owner or at the request of the owner. Penalty, see § 10.99

#### **§ 50.08 COLLECTION OF YARD WASTE.**

The town will provide for the collection of yard waste using the following procedure. When a resident has yard waste that needs to be collected, they are to call the Town Hall to be placed on the schedule. The town's contractor will then collect the waste. All items to be collected should be placed at the curb and should be small enough that they can be easily loaded by a two-person crew in 15 minutes.

#### **§ 50.09 REMOVAL OF DEAD ANIMALS.**

Dead animals will be removed from any premises by the town upon notice to the Town Manager of such dead animal.

## **CHAPTER 91: ANIMALS**

Section

### **General .Provisions**

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### ***Cross-reference:***

Removal of dead animals, see § 50.09

## **GENERAL PROVISIONS**

### **§ 91.01 KEEPING LIVESTOCK AND POULTRY.**

*(A) Hogs or swine prohibited; exceptions.* No hogs or swine are permitted to be in any zone within the corporate limits, except in an industrial district for manufacturing purposes and/or in connection with a fair or other special event conducted on a temporary basis.

*(B) Housing livestock.*

1.

1. It shall be unlawful for any person to house or stable any horse, mule, pony, cow, sheep, goat, or other livestock, including poultry, in the corporate limits of the town within 175 feet of any dwelling, school, church, restaurant, grocery store, drugstore, or other retail establishment, or within 100 feet of a septic tank or private water supply intended for human consumption. In addition, it shall also be unlawful to keep or maintain such animals by means of tether, fence, or other type enclosure within 20 feet of the property line of an adjoining lot.
2. Any tether, fence, stable, or other type enclosure structure that does not conform to the above provisions of division (B)(l) and such nonconformities exist prior to the adoption of this section, shall be considered a nonconforming use as defined in the zoning ordinance.
3. Within the town's corporate limits, no more than one such animal may be maintained on a lot containing less than 20,000 square feet in area. Additional animals may be maintained on the basis of one animal for each additional 20,000 square feet provided.

*(C) Structures for livestock.* Best management practices shall be applied in using and maintaining structures for livestock, including stables, so as to eliminate or minimize nuisances and adverse impacts to the maximum extent possible.

*(D) Keeping fowl/poultry.* All yards, premises, sheds, coops, and the like, occupied by chickens or other fowl shall be deemed a nuisance if not cleaned regularly and kept in a sanitary condition at all times.

*(E) Registration required of existing livestock.* Livestock that are within the corporate limits of the town on the date of adoption of this section and do not meet all requirements of this section (i.e. number of livestock allowed per lot area or the proximity of a barn/stable to a dwelling, school, church, restaurant, grocery store, drugstore, retail establishment, septic tank, or private water supply) shall be allowed to remain in the town for as long as the animals live provided all animals are registered with the town within one year of adoption of this section. Registration of existing livestock animals will require the owner to state the age, sex, and breed of all animals as well as the lot square footage or acreage of the land that the animals are kept on. Any offspring of the existing livestock shall be removed from the corporate limits of town following weaning from its mother.

(Ord. 2007-06-01, passed 6-12-2007) Penalty, see§ 91.99

## **§ 91.02 CRUELTY TO ANIMALS.**

It shall be unlawful to mistreat any animal by causing or permitting that animal unjustifiable physical pain, suffering, or death, either by act or omission or neglect. Lawful taking of game animals are exempted from the provisions of this section. (Ord. 2007-06-01, passed 6-12-2007) Penalty, see§ 91.99

## **DOGS**

### **§ 91.15 DEFINITIONS.**

For the purpose of this subchapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

**ANIMAL CONTROL OFFICER.** The County Animal Control Officer, the Town Animal Control Officer, and the Chief of Police (or designee) for the town.

**DANGEROUS OR VICIOUS DOG.** Includes any of all of the following, except police dogs or guard dogs acting under the supervision of a police officer or certified trained dog handler, or seeing-eye dogs:

1. Any dog which bites, inflicts injury, assaults, or otherwise attacks a human being or a domestic animal without provocation; or
2. Any dog which, without provocation, approaches in a threatening or terrorizing manner, any person or domestic animal upon the streets, sidewalks, or any public grounds or places, whether restrained or not by a leash; or
3. Any dog which is trained to attack or cause injury or to otherwise endanger the safety of human beings or domestic animals, or any dog which has a history of attacking or propensity (intense natural tendency) to attack people or domestic animals without provocation.

**DESTRUCTIVE DOG.** Any dog which habitually performs in the following manner:

1. Destroys the personal or real property of others, including, but not limited to, lawn furniture, or other objects stored outside, or shrubs, flowers, grass, and other plant growth, or ;
2. Habitually turns over garbage receptacles or recycle bins, or strews trash.

**HABITUAL.** The dog or dogs have performed such acts on two or more occasions.

**PROPER ENCLOSURE.** A building or other structure from which a dog cannot escape, or an outside area enclosed by an underground fence or a fence at least six feet in height secured to the ground in such a manner so that a dog cannot escape.

**PROPER RESTRAINTS.** Confined on the owner's property by leash, cord, or chain from which a dog cannot escape or if off the owner's property, on a leash, cord, or chain and under the immediate and effective control of the owner or other responsible person.

**STRAY DOG.** Any dog off the owner's premises and not under proper restraints, without a collar or harness to which is attached a name plate bearing the owner's name, address, and phone number. In addition, any female dog in heat not confined in a

proper enclosure.

(Ord. 2007-06-01, passed 6-12-2007; Ord. 2011-09-01, passed 11-8-2011)

### **§ 91.16 DOGS AS NUISANCES.**

(A) Stray dogs within the corporate limits of the town are hereby declared to be a public nuisance and shall be abated as provided in this subchapter.

(B) The keeping or maintenance of any dog or dogs without a collar to which is attached a name plate bearing the owner's name, address and phone number is hereby declared to be a public nuisance and shall be abated as provided in this subchapter.

(C) The keeping or maintenance outside a proper enclosure or under proper restraints of any dog or dogs having dangerous or destructive propensities is hereby declared to be a public nuisance and shall be abated as provided in this subchapter.

(D) The keeping or maintenance outside a proper enclosure or under proper restraints of any dog or dogs considered by definition to be "dangerous," "vicious," or "destructive" is hereby declared to be a public nuisance and shall be abated as provided in this subchapter.

(E) The keeping or maintenance of any dog or dogs which by prolonged and habitual barking, howling, or whining cause serious annoyance to neighboring residents and interferes with the reasonable use and enjoyment of the premises occupied by the residents or with the reasonable use and enjoyment of the public street, sidewalks, or other public areas, is hereby declared to be a public nuisance, and shall be abated as provided in this subchapter.

(F) The keeping by any person of more than eight dogs is declared to be a public nuisance. (Ord. 2007-06-01, passed 6-12-2007; Ord. 2011-09-01, passed 11-8-2011)  
Penalty, see§ 91.99

### **§ 91.17 NOTICE; ABATEMENT; IMPOUNDMENT.**

(A) *Discovery, complaint, and notice.* Upon discovery of any public nuisance as defined in this subchapter by the Animal Control Officer or upon receipt of a written, detailed, and signed complaint being made to the Animal Control Officer by any resident or residents that a public nuisance as described in§ 91.16 above exists, the Animal Control Officer shall cause the owner or keeper of the dog or dogs in question to be notified that a complaint has been filed and shall cause the situation complained about to be investigated and a report and findings thereon to be reduced to writing by the investigating officer. A police report documenting the "dangerous," "vicious," or "destructive" nature of any dog or dogs shall be considered evidence and shall be used to document and/or support the findings of the Animal Control Officer.

(B) *Abatement.* If the written findings of the investigating officer indicate that a nuisance exists and the complaint is justified, the Animal Control Officer shall cause the owner or keeper of the dog or dogs in question to be so notified in writing and ordered to abate such nuisance by destruction or removal of the dog or dogs, or by construction of a proper enclosure or proper restraint, as the case may necessitate. In the case of stray dogs or in the event the owner or keeper of the dog or dogs is unknown and cannot be ascertained, the dog shall immediately be impounded and the notice and order, along with a general description of the dog or dogs shall be posted at the Town Hall.

(C) *Impoundment upon failure to abate, destruction.* If any person being the owner or keeper of a dog or dogs hereinabove described, shall fail or refuse to abate the nuisance upon order of the Animal Control Officer within the specified time, the Animal Control Officer shall cause the dog or dogs in question to be apprehended and impounded by the Animal Control Officer at the Montgomery County Facility, and the owner notified in writing of the impoundment. If the owner or keeper shall so request, the dog or dogs shall be released to him or her upon his or her execution of a written agreement to comply with the abatement order. If no request and execution of an agreement to comply with the abatement order is made by the owner or keeper within three days after written notice has been delivered, the Animal Control Officer shall cause the dog or dogs in question to be destroyed. In the case of stray dogs, or a dog or dogs, the owner of which is unknown, the Animal Control Officer shall cause the impoundment to be carried out immediately and shall cause notice of impoundment, along with a general description of the dog or dogs in questions to be posted at the Town Hall. If no request is made for release of the dog, and execution of agreement to comply with the order of abatement is made within three days, the Animal Control Officer shall cause the dog or dogs in question to be destroyed.

(Ord. 2007-06-01, passed 6-12-2007; Ord. 2011-09-01, passed 11-8-2011)

### **§ 91.18 RABIES CONTROL.**

Every dog that bites a human being shall be delivered, within eight hours, by the owner to the County Animal Shelter or to a licensed veterinary hospital where it shall be confined for observation for not less than ten days at the owner's expense. Wounds inflicted by dogs on human beings shall be reported immediately to the Health Department by the person who has been bitten by the dog, or in the case of a child, by his or her parent or guardian, as specified in G.S. § 130A-198.

(Ord. 2007-06-01, passed 6-12-2007; Ord. 2011-09-01, passed 11-8-2011) Penalty, see § 91.99

### **WILD AND DANGEROUS ANIMALS**

#### **§ 91.30 DEFINITIONS.**

For the purpose of this subchapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

**EXOTIC ANIMAL.**

1. Any animal which:
  - (A) Is not native or a non-indigenous species to this state [other than servids (deer)];
  - (B) (Does not have an established wild population in this state; or
  - (C) Is not regulated by the state wildlife commission.
2. All mammals designated by the Centers for Disease Control and Prevention, Department of Agriculture or other national or state public health protection agencies as embargoed or prohibited under legal protection orders.

**HARBORER OF INHERENTLY DANGEROUS EXOTIC MAMMAL OR**

**INHERENTLY DANGEROUS REPTILE.** Any person, regardless of ownership, who allows an inherently dangerous exotic mammal or inherently dangerous reptile to remain, lodge, or be fed or to be given shelter or refuge within the person's home, store, yard, enclosure, outbuilding, abandoned vehicle or building, place of business, or any other premises in which the person resides or over which the person has control.

**INHERENTLY DANGEROUS EX011C MAMMAL.** Any live member of the Canidae, Felidae, or Ursidae families, including hybrids thereof, which, due to their inherent nature, may be considered dangerous to humans and which include:

1. *Canidae*. Any member of the dog (Canid) family not customarily domesticated by humans or any hybrids of such Canidae, including wolf hybrids which are a cross between a wolf and a domestic dog, but not including domestic dogs (*Canis familiaris*);
2. *Felidae*. Any member of the cat family weighing over 15 pounds not customarily domesticated by man, or any hybrids of such Felidae, but not including domestic cats (*Felis catus*);
3. *Ursidae*. Any member of the bear family, or hybrids of such Ursidae;
4. *Primates*. Any member of the order primates; and
5. *Elephants*.

**INHERENTLY DANGEROUS REPTILE.** Any member of the Reptilia class which:

1. Is venomous. A venomous reptile shall include all members of the families Helodermodidae (gila monsters and Mexican beaded lizards), Viperidae vipers, Crotalidae (pit vipers), Hydrophilidae (sea snakes), and Elapidae (cobras, coral

snakes, and their allies), as well as any rear fanged snakes of the family Colubridae that are known to be dangerous to humans, including but not limited to Dispholidus typus (boomslang), Thebtornis kirtlandii(twig snake), Rhabdophis (deelbacks);

2. Is non-venomous. A non-venomous reptile shall include all members of the families Boidae (constrictors, pythons, anaconda, and boas) snakes that are known to be dangerous to humans; and
3. Is a member of the order Crocodylia (crocodiles, alligators, and caiman).

***WILD AND DANGEROUS ANIMALS.*** Any animals of the cat, bear, and wolf species and non-human primates which are normally born and live in a wild habitat, even though such species may be raised and kept in captivity. (Ord. 2006-10, passed 4-25-2006; Ord. 2007-06-01, passed 6-12-2007; Ord. 2011-09-01, passed 11-8-2011)

### **§ 91.31 UNLAWFUL POSSESSION OF INHERENTLY DANGEROUS EXOTIC MAMMALS OR INHERENTLY DANGEROUS REPTILES.**

At no time may any person possess, sell or harbor an inherently dangerous exotic mammal or inherently dangerous reptile within the town. Any exotic animal that is in the possession of, or harbored, at the time that Ordinance No. 2011-09-01 is adopted will be “grandfathered”, and excluded from the regulations/ requirements of this subchapter, however, to be properly “grandfathered”, any person who possesses or harbors an inherently dangerous exotic mammal or reptile shall immediately register these animals with the county upon adoption of Ordinance No. 2011-09-01 (registration shall be within 12 days of the day the ordinance is adopted). All animals “grandfathered” by this section shall be permanently identified with an imbedded microchip; owners of “grandfathered” animals shall have six months to embed a microchip in the animal. “Grandfathering” only covers the existing registered animals until their death.

(Ord. 2006-10, passed 4-25-2006; Ord. 2007-06-01, passed 6-12-2007; Ord. 2011-09-01, passed 11-8-2011) Penalty, see§ 91.99

### **§ 91.32 EXCEPTIONS.**

This subchapter does not apply to the following:

- (A) Veterinary clinics in possession of such animals or reptiles for treatment or rehabilitation purposes;
- (B) Nonresident circuses for no longer than one seven-day period, per each separate location where such circus is held within the county per calendar year;

(C) Nonresident carnivals or traveling fairs for no longer than one seven-day period, per each separate location where such carnival or traveling fair is held within the county, per calendar year;

(D) Persons temporarily transporting such mammals or reptiles through the county, provided that such transport time shall not be more than 24 hours; and/or

(E) No reference or regulations in this subchapter applies to exotic mammals under the control of the North Carolina Zoological Park.

(Ord. 2006-10, passed 4-25-2006; Ord. 2007-06-01, passed 6-12-2007; Ord. 2011-09-01, passed 11-8-2011) Penalty, see§ 91.99

### **§ 91.33 IMPOUNDMENT; DISPOSITION OF IMPOUNDED ANIMALS.**

(A) An inherently dangerous exotic mammal or inherently dangerous reptile which is kept by any person in contravention of § 91.31 pertaining to possession of inherently dangerous exotic animals may be taken up and impounded by the Animal Control Officer or Police Chief's representative for the protection of the animals and/or the public. Whenever possible, the Animal Control Officer or Police Chief's representative shall take up and impound the animal in the presence of its owner or harborer; however, if such is not practicable, the Animal Control Officer or Police Chief's representative may impound such animal consistent with this section.

(B) If an animal is impounded pursuant to this section, the owner or harborer of the animal shall be notified by the Animal Control Officer in person or by certified mail.

(C) Any animal impounded pursuant to this section will be held ten days for the owner to claim pursuant to subsection (D) of this section; however, if the animal cannot be taken up safely by the Animal Control Officer or Police Chief's representative or if proper and safe housing cannot be found for the animal, the Animal Control Officer or Police Chief's representative can immediately destroy the animal.

(D) The owner or harborer of the animal can reclaim the animal if the person can satisfy the Chief Animal Control Officer or Chief of Police, that a safe transfer of the animal to an appropriate location outside of the county has been arranged.

(E) If no owner or harborer can be located or will claim the animal within ten days after impoundment, the Town Manager or representative may place the animal with an accredited zoological park or accredited sanctuary (accredited by the American Zoo and Aquarium Association).

(F) All cost of impoundment, care, damages to property, and/or euthanasia of the animal will be charged to its owner or harborer regardless of whether the animal is claimed by or returned to the owner or harborer. If the animal is reclaimed, such costs shall be paid

in full prior to the owner or harborer reclaiming the animal pursuant to division (D) of this section.

(G) An animal escape/recapture plan must be filed with the town, which shall include a recovery plan (these plans must be filed with the town and the Animal Control Officer within six months of the day Ordinance No. 2011-09-01 is adopted). The owner of the animal shall be liable for all costs associated with the recapture of the animal.

(Ord. 2006-10, passed 4-25-2006; Ord. 2007-06-01, passed 6-12-2007; Ord. 2011-09-01, passed 11-8-2011) Penalty, see§ 91.99

### **§ 91.34 BREEDING OR ALLOWING REPRODUCTION PROHIBITED.**

Breeding or allowing the reproduction of wild and dangerous animals as defined in this subchapter is prohibited.(Ord. 2006-10, passed 4-25-2006; Ord. 2007-06-01, passed 6-12-2007; Ord. 2011-09-01, passed 11-8-2011) Penalty, see§ 91.99

### **§ 91.99 PENALTY.**

(A) *General penalty.* Unless otherwise specifically provided, any person who shall violate any provision of this chapter shall be punished as set forth in § 10.99 of this code.

(B) *Dogs.* In addition, enforcement of §§ 91.15 through 91.18 may be by injunction, restraining order, or order of abatement in a court of competent jurisdiction, as provided by G.S. § 160A-175.

(C) *Wild animals.* Any person who is found guilty of a violation of §§ 91.30 through 91.34 shall be deemed guilty of a Class 3 misdemeanor and punished as provided in G.S. § 14-4. Every day that the animal remains housed or harbored shall constitute a new offense.

(Ord. 2006-10, passed 4-25-2006; Ord. 2007-06-01, passed 6-12-2007; Ord. 2011-09-01, passed 11-8-2011)